

23 March 2023

Greg Peet  
Unit 3 / 32 Everson Road  
GYMPIE QLD 4570  
Via email: [tess3475@hotmail.com](mailto:tess3475@hotmail.com)

Dear Sir/Madam

**CONCURRENCE AGENCY RESPONSE**  
MASON STREET, MOUNT PERRY  
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 10 March 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

**Applicant details**

Applicant name:	Gregory Peet
Applicant contact details:	Unit 3 / 32 Everson Road GYMPIE QLD 4570
Email:	<a href="mailto:tess3475@hotmail.com">tess3475@hotmail.com</a>
Phone:	
Mobile:	0414 403 009

**Site details**

Street address:	MASON STREET, MOUNT PERRY
Real property description:	72RP28376

**Application details**

Application No:	DA230010
Date of Decision	23 March 2023
Proposed development:	Development Permit for Building Works

**Aspects of development and type of approval being sought**

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Amenity and Aesthetics

## Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger

Schedule 9 – Building work assessable against the *Building Act* Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact

## Decision

Decision Details:

The North Burnett Regional Council advises the assessment manager that;

The development approval must be subject to stated development conditions set out in Attachment 1.

## Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

## Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

## Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
C.01 – Project 23018	Site Plan by PRT Industries	08.02.2023
A.01 – Project 23018	Architectural & General Arrangement by PRT Industries	08.02.2023
S.01 – Project 23018	Structural & Steelwork Layout by PRT Industries	08.02.2023
S.02 – Project 23018	Structural & Steelwork Layout by PRT Industries	08.02.2023

## Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully



David Rowland

**Interim Planning and Environment Manager**

Enc: Attachment 1-conditions to be imposed  
Attachment 2-reasons for decision to impose conditions  
Attachment 3-appeal rights  
Attachment 4-plans

## Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
<b>General</b>	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
<b>Design and Siting</b>	
2.	The approved dwelling must be sited generally in accordance with the approved plans, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved dwelling must not exceed 36 m <sup>2</sup> .
4.	The deck is to be maintained as an 'open' structure and is not to be infilled with walling or roller doors. A roof may be built over the deck area.
5.	The overall height of the approved dwelling must not exceed 4.5 metres measured from natural ground level.
6.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
7.	All exterior wall and roof cladding material is to be maintained over the life of the structure so as to be free of any visible or performance related defects and that the surface is free of flaking paint, stains or rust. Any wall finishes that are required to be renewed or replaced are to match the colour and finish of the surrounding wall areas of the building
<b>Use</b>	
8.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
<b>Landscaping</b>	
9.	Establish landscaping for screening purposes along the elevations of the approved structure as amended in red by Council on the endorsed site plan. Landscaping must consist of a minimum of one (1) tree and/or shrub per three (3) lineal metres, growing to a minimum height of four (4) metres.
10.	Provide landscaping along the nearest side boundary to the approved structure to a standard adequate to screen the building from adjoining premises.
11.	Maintain the new landscaping on the site to the satisfaction of the Concurrence Agency

## Attachment 1B – Advice Notes

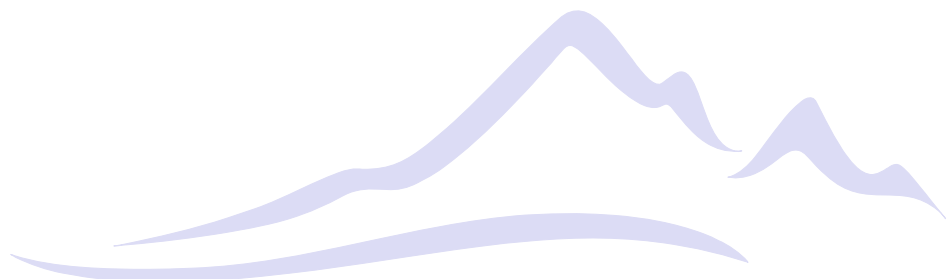
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.

## **Attachment 2 – Reasons for decision to impose conditions**

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The reason for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.

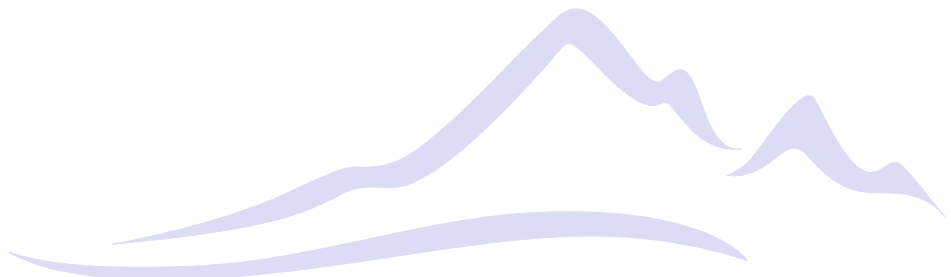


## **Attachment 3 – Approved Plans**

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**Please refer to the following pages for approved plans.**







**APPROVED PLANS**

These plans are associated to the decision notice for application number

**DA230010**



Issue	Description	Date
0	ISSUED FOR CONSTRUCTION	08.02.23

**ERS**

ENGINE ROOM STRUCTURES  
Consulting Structural Engineers

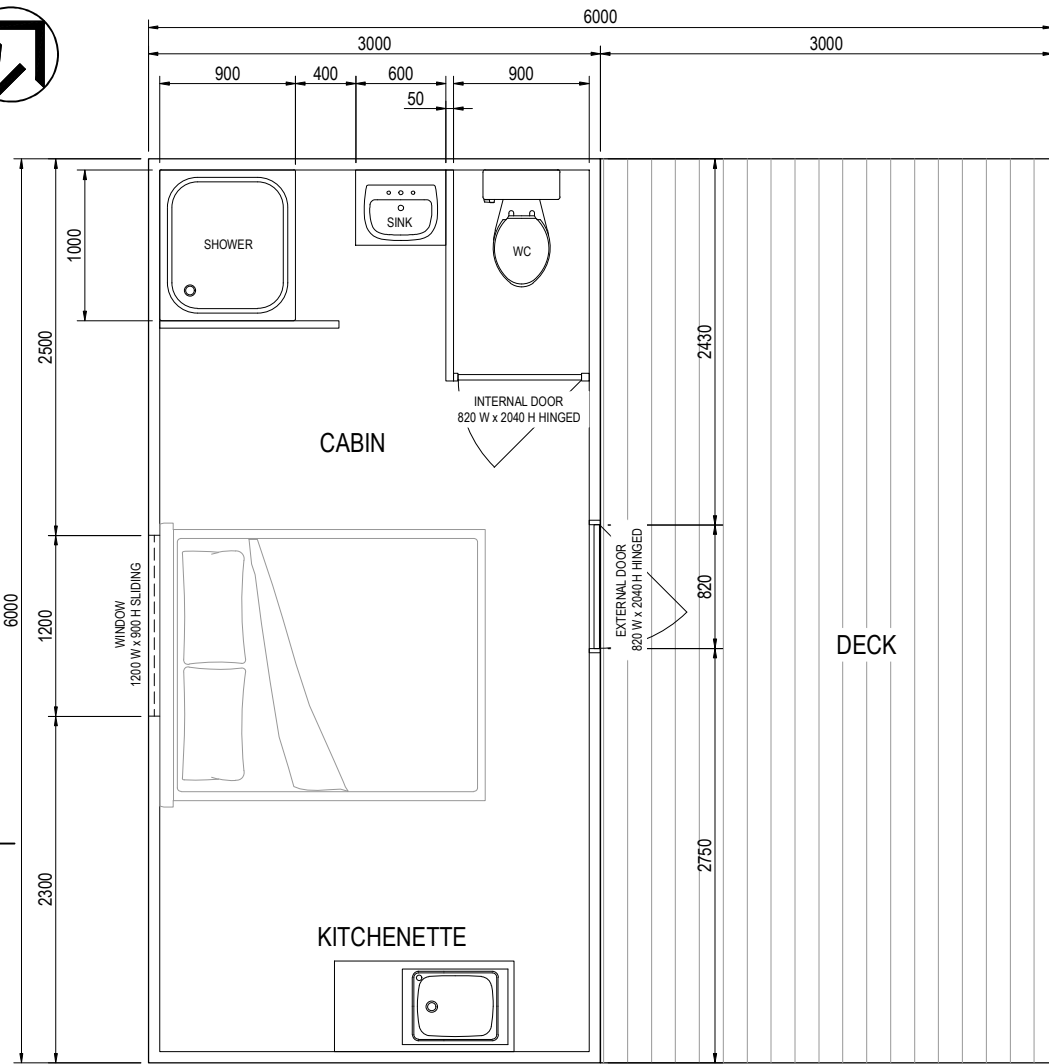
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RPEQ 4726  
54 Layfield Rd. Anstead, QLD

p: 0438003052  
e: jgilley100@gmail.com

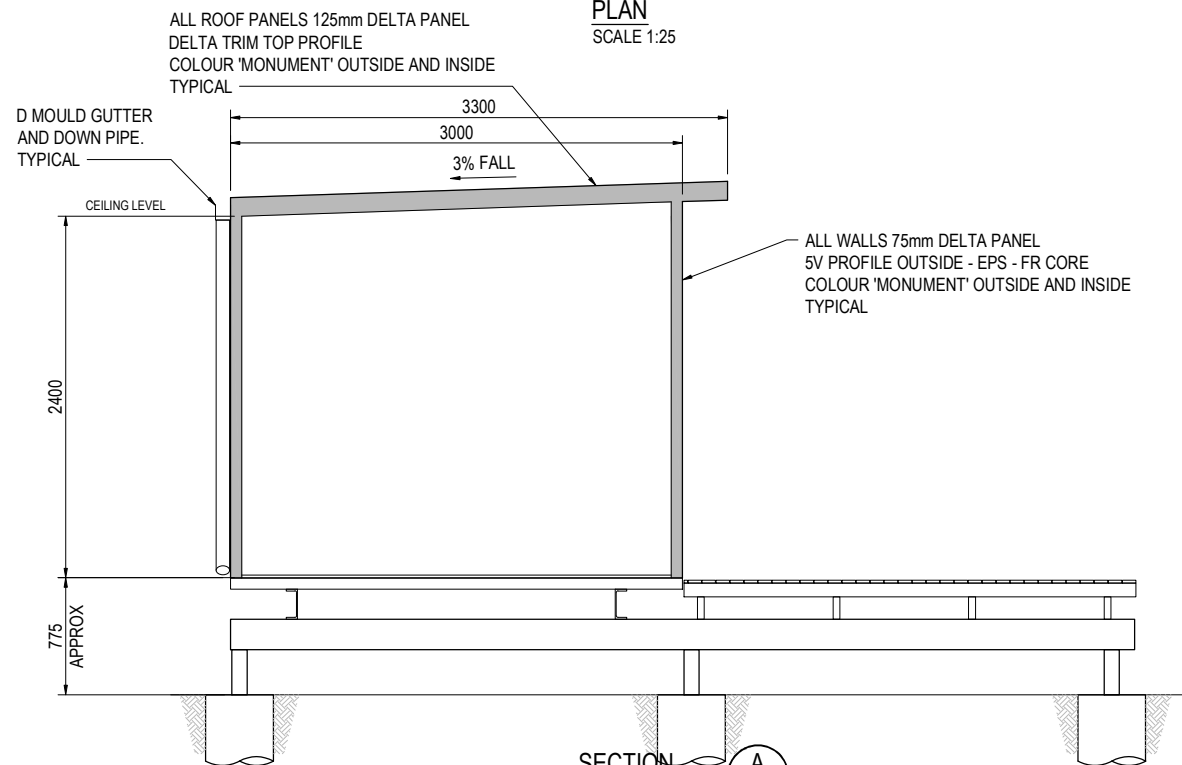
Project	CABIN AND DECK 12 MASON STREET, MOUNT PERRY QLD 4671
Lot No.	LOT 72 RP 28376
Client	GREG PEET

Drawing	SITE PLAN
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Scale	AS SHOWN	Project No.	23018	Drawing No.	C.01
Date	04.02.23	Drawn	TT		
Sheet	A1	Approved	JDG	Revision	0



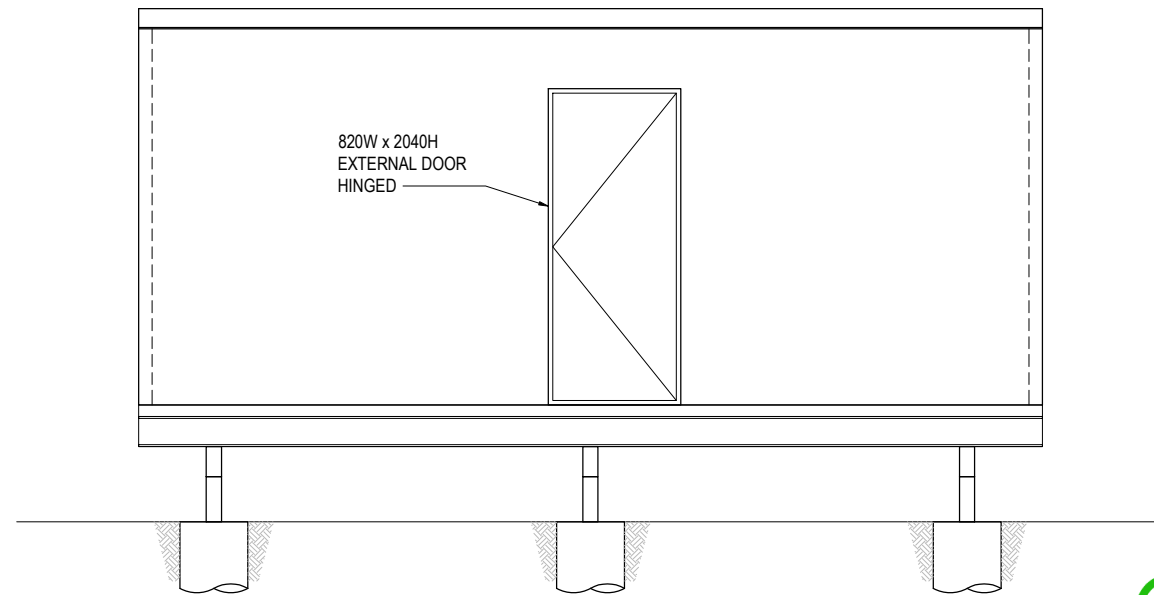
PLAN  
SCALE 1:25



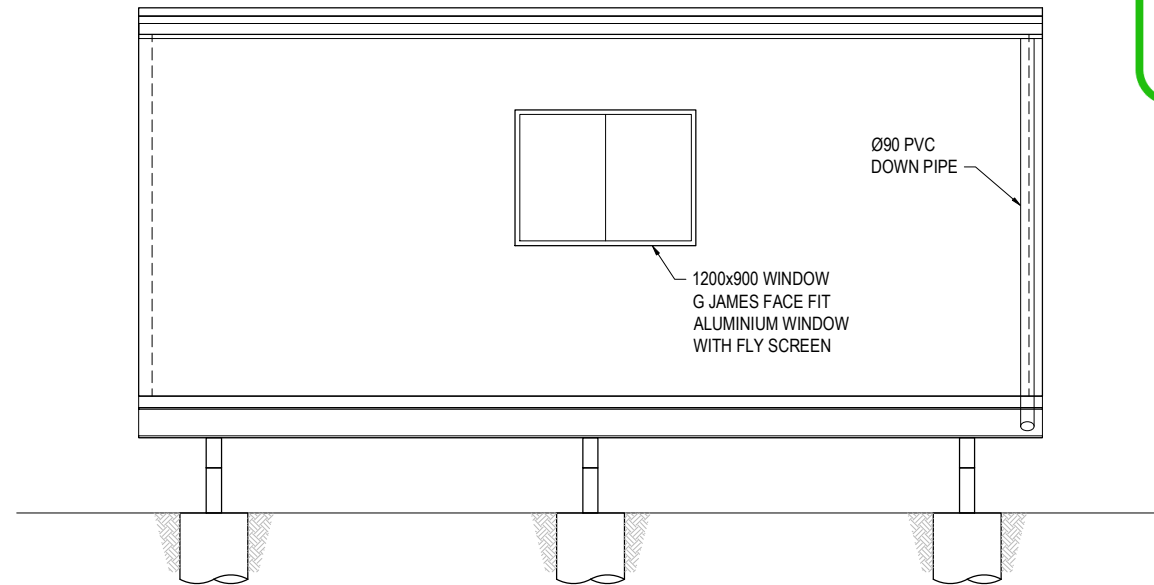
SECTION  
SCALE 1:25

NOTES:

1. FOR STRUCTURAL LAYOUT AND DETAILS, REFER DRAWINGS S.01 AND S.02
2. ALL FLASHING COLOUR 'EBONY'



FRONT VIEW  
SCALE 1:25



REAR VIEW  
SCALE 1:25



**APPROVED PLANS**

These plans are associated to the  
decision notice for application number

**DA230010**



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0	ISSUED FOR CONSTRUCTION	08.02.23

**ERS ENGINE ROOM STRUCTURES**  
Consulting Structural Engineers

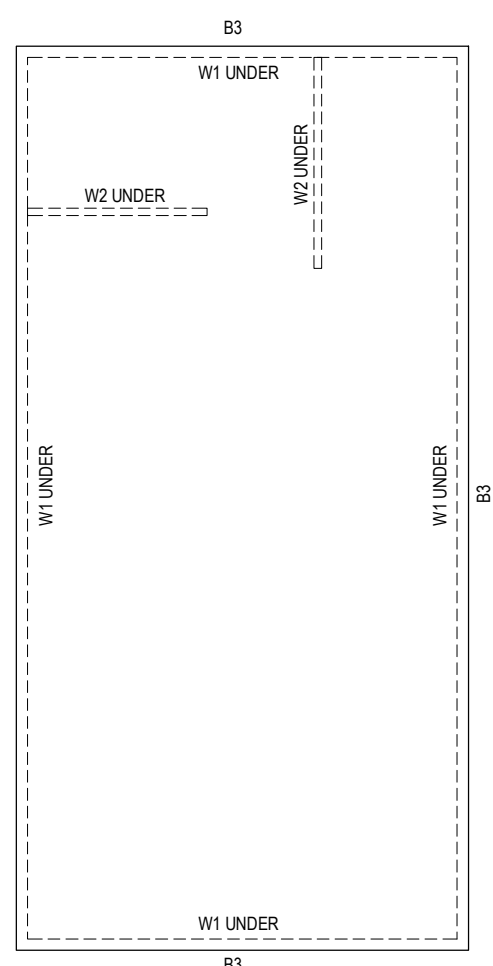
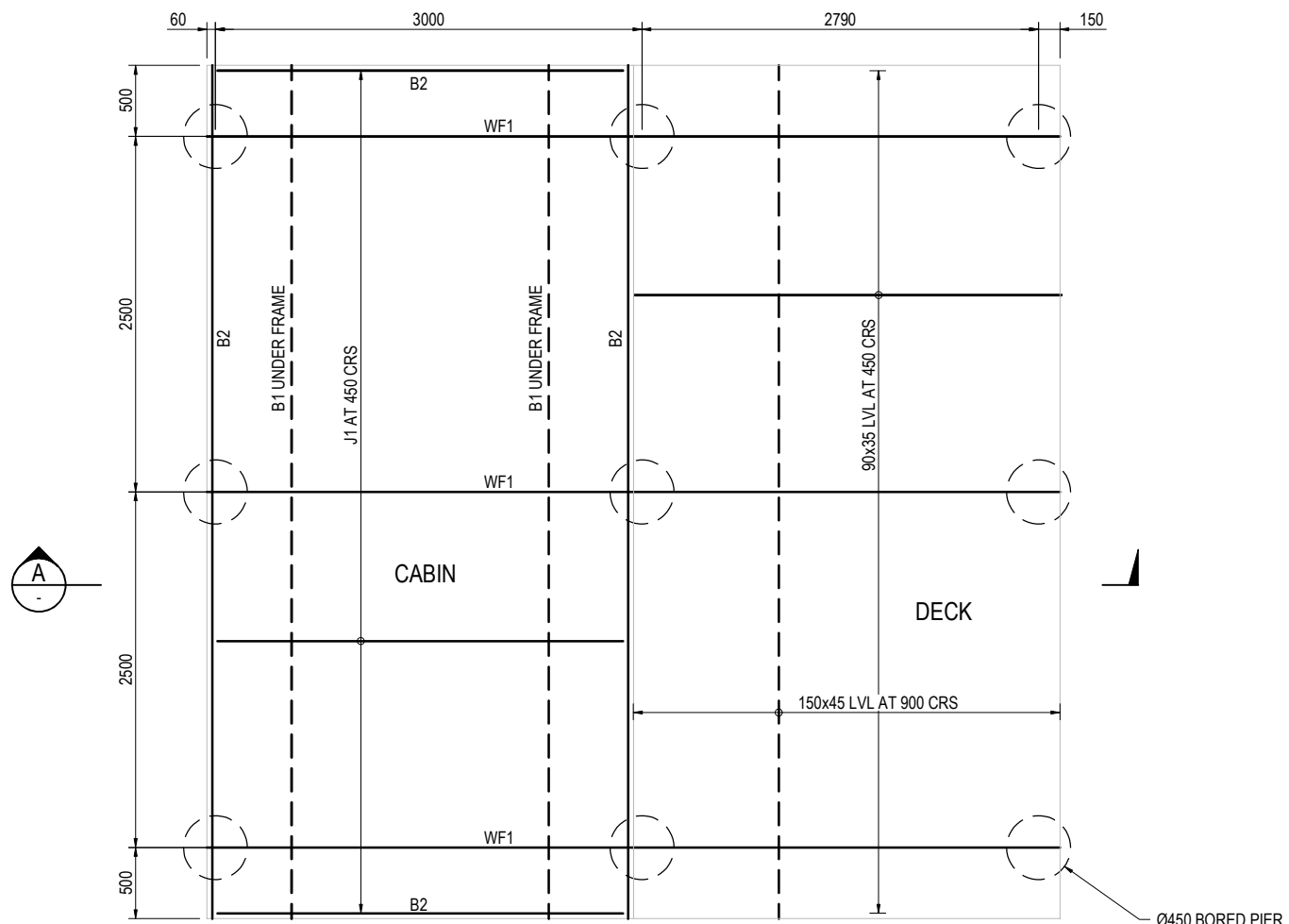
John Gilley BE MIEA CPEng NPER  
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54 Layfield Rd. Anstead, QLD  
p: 0438003052  
e: jgilley100@gmail.com

Project	CABIN AND DECK 12 MASON STREET, MOUNT PERRY QLD 4671
Lot No.	LOT 72 RP 28376
Client	GREG PEET

Drawing	ARCHITECTURAL GENERAL ARRANGEMENT
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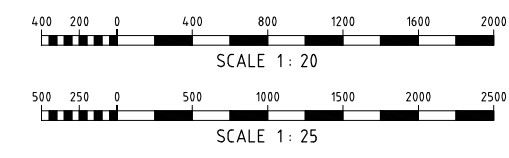
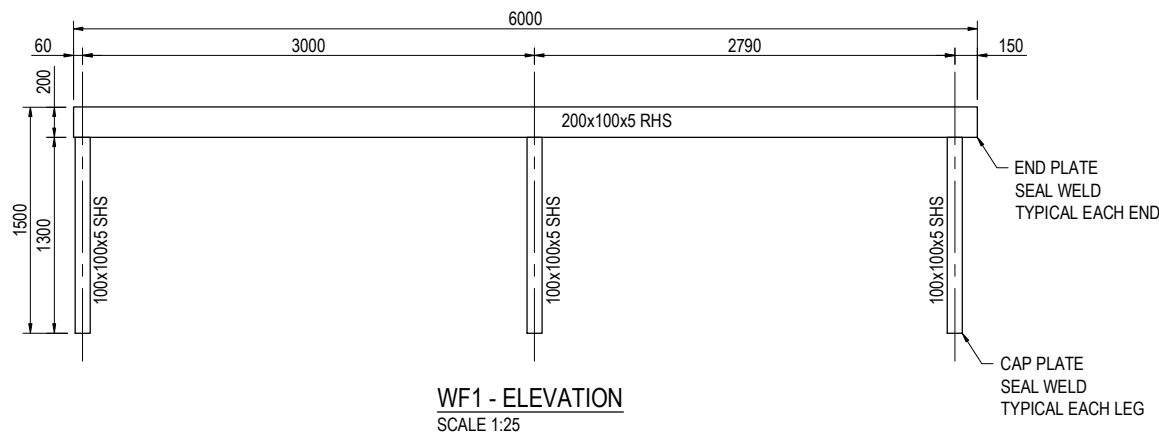
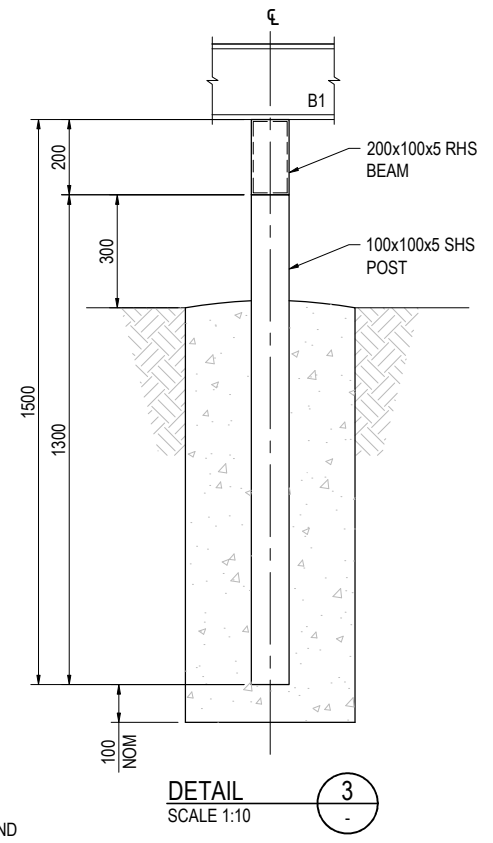
Scale	AS SHOWN	Project No.	23018	Drawing No.	A.01
Date	04.02.23	Drawn	TT	Revision	0
Sheet	A1	Approved	JDG		





- NOTES:**
1. FOR ARCHITECTURAL LAYOUT, REFER DRAWING A.01
  2. ALL STEELWORK TO BE HOT DIPPED GALVANISED.
  3. ALL CONNECTIONS FULLY WELDED.
  4. USE TEK 14x135 HEX HEAD SCREWS FOR ALL PANEL CONNECTIONS UNO.

MARK	MEMBER
B1	200 PFC
B2	75 x 75 x 2.5mm FOLDED SECTION
B3	75 x 35 x 2.5mm FOLDED SECTION
J1	75 x 4.0 SHS
W1	75mm DELTA PANEL 5V PROFILE OUTSIDE EPS - FR COLOUR 'MONUMENT' OUTSIDE AND INSIDE
W2	50mm (R1.5) DELTA PANEL EPS - FR COLOUR 'MONUMENT' EACH SIDE
WF1	WELDED FRAME 200x100x5 RHS, 100x100x5 SHS



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0	ISSUED FOR CONSTRUCTION	08.02.23

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Project	CABIN AND DECK 12 MASON STREET, MOUNT PERRY QLD 4671
Lot No.	LOT 72 RP 28376
Client	GREG PEET

Drawing	STRUCTURAL STEELWORK LAYOUT
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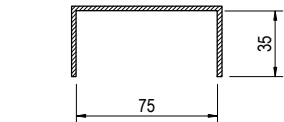
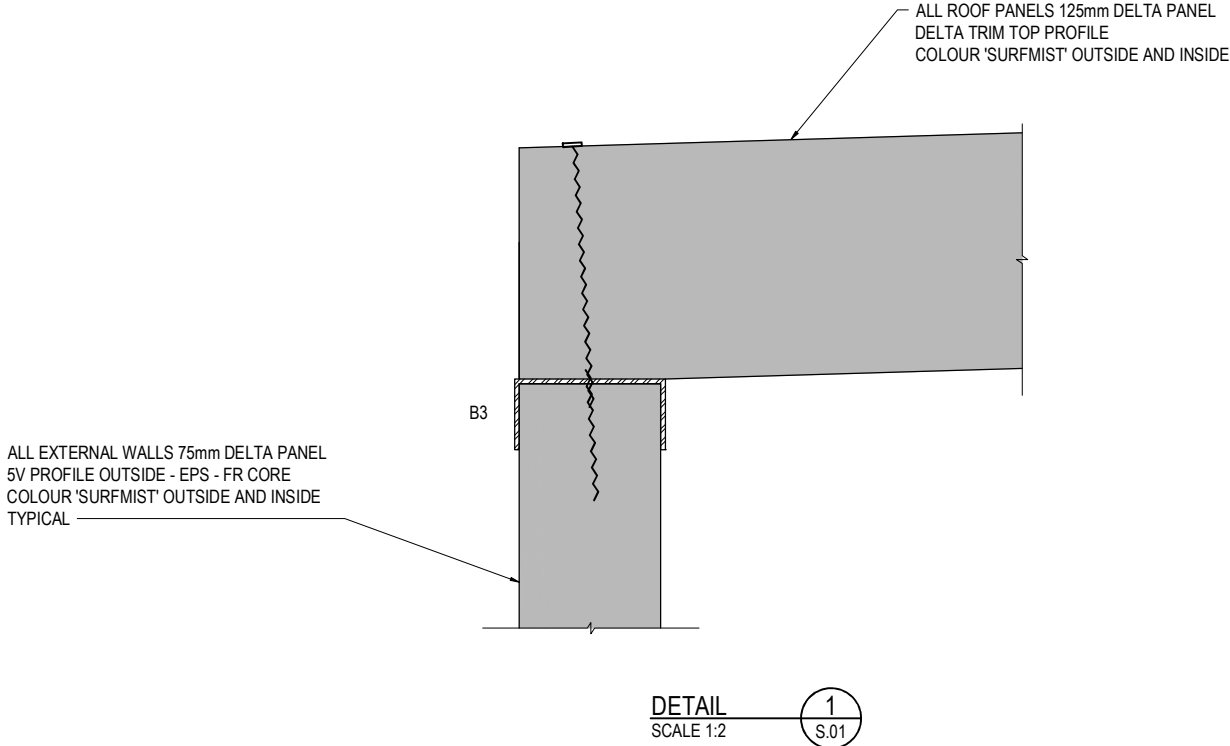
Scale	AS SHOWN	Project No.	23018	Drawing No.	S.01
Date	04.02.23	Drawn	TT		
Sheet	A1	Approved	JDG	Revision	0

23018-S-01.dwg

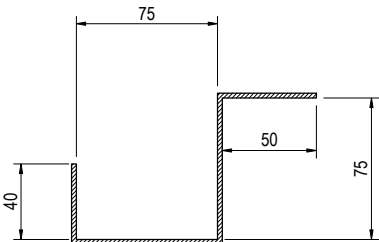
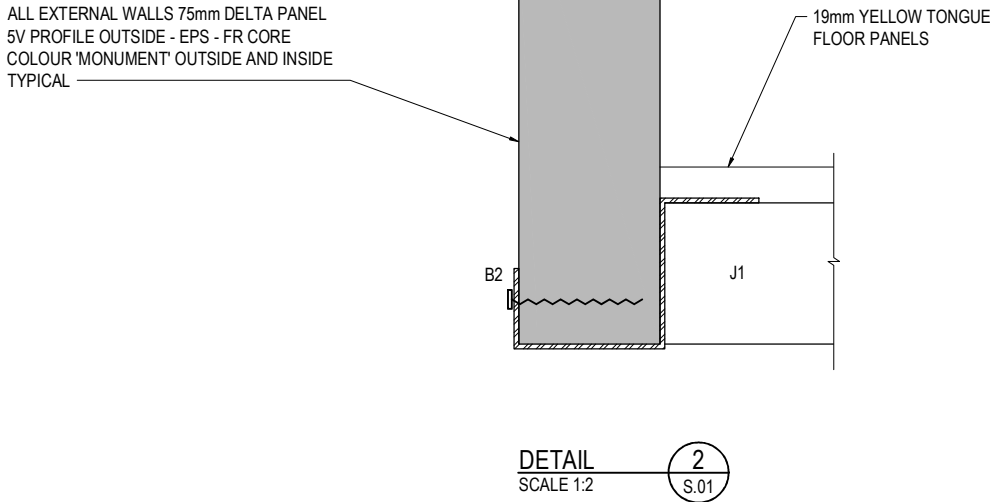


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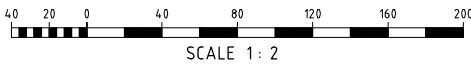
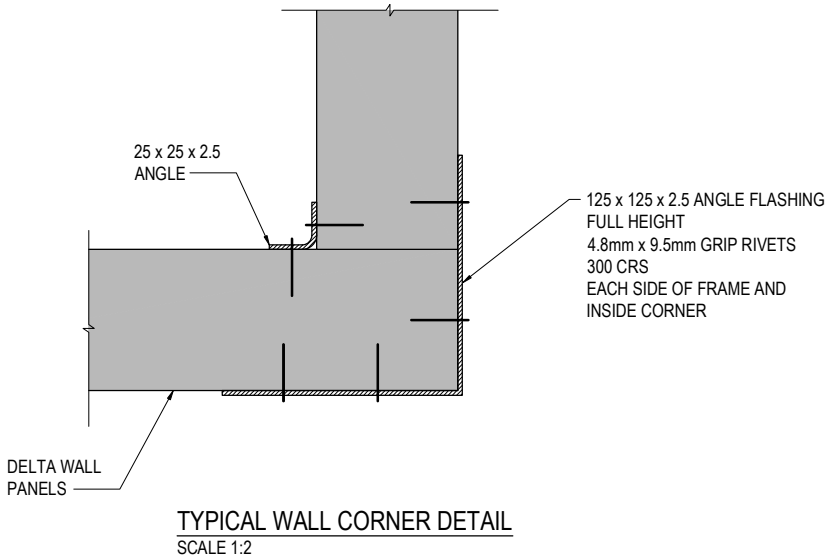
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B3 PROFILE  
SCALE 1:2



B2 PROFILE  
SCALE 1:2



SCALE 1 : 2



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Drawing	STRUCTURAL STEELWORK DETAILS
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Scale	AS SHOWN	Project No.	23018	Drawing No.	S.02
Date	04.02.23	Drawn	TT		
Sheet	A1	Approved	JDG	Revision	0

## **Attachment 4 – Planning Act 2016 Extract Appeal Rights**

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**Please refer to attached document or**

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

