

30 March 2023

Peter Woodforth  
38 Stones Avenue  
MOUNT PERRY QLD 4671

Dear Sir/Madam

**CONCURRENCE AGENCY RESPONSE**

STONES AVENUE, MOUNT PERRY  
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 10 March 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

**Applicant details**

Applicant name: Peter Woodforth  
Applicant contact details: 38 Stones Avenue  
MOUNT PERRY QLD 4671  
Email: [peterwoody05@gmail.com](mailto:peterwoody05@gmail.com)  
Phone:  
Mobile: 0439 796 198

**Site details**

Street address: STONES AVENUE, MOUNT PERRY  
Real property description: 56RP28376

**Application details**

Application No: DA230011  
Date of Decision: 24 March 2023  
Proposed development: Development Permit for Building Works

**Aspects of development and type of approval being sought**

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Amenity and Aesthetics

### Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 3 Design and Siting – QDC non-compliance and/or QDC alternate provision assessment
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### Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that;  The development approval must be subject to stated development conditions set out in <u>Attachment 1</u> .
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### Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

### Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

### Approved Plans and Specifications

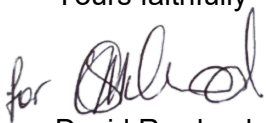
Document No./ Reference	Title (prepared by)	Date
65933 – WD1	Site Plan by Prestige Kit Homes	12/01/2023
65933 – WD3	Floor Plan by Prestige Kit Homes	12/01/2023
65933 – WD4	Elevations 1 to 4 by Prestige Kit Homes	12/01/2023

### Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully



David Rowland

**Interim Planning and Environment Manager**

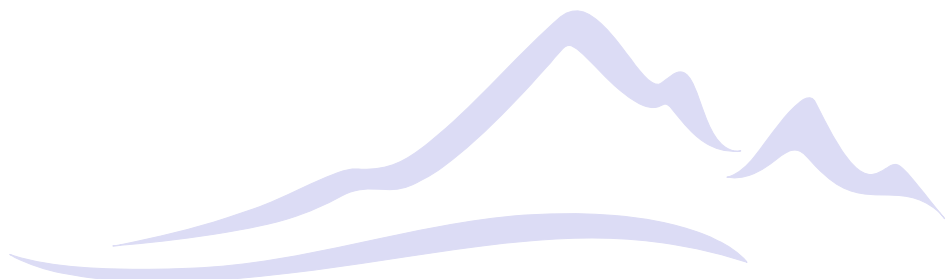
Enc: Attachment 1-conditions to be imposed  
Attachment 2-reasons for decision to impose conditions  
Attachment 3-appeal rights  
Attachment 4-plans

## **Attachment 1 – Conditions to be imposed by Concurrence Agency**

No.	Conditions
<b>General</b>	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
<b>Design and Siting</b>	
2.	The approved dwelling must be sited a minimum five (5) metres from Stones Street property boundary, with all setbacks measured from the outermost projection of the structure.
3.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments. Zincolume is not to be used on the walls of the structure.
<b>Use</b>	
4.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
5.	The openings of the approved dwelling must not be enclosed in accordance with Approved Plan documentation

## **Attachment 1B – Advice Notes**

A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.

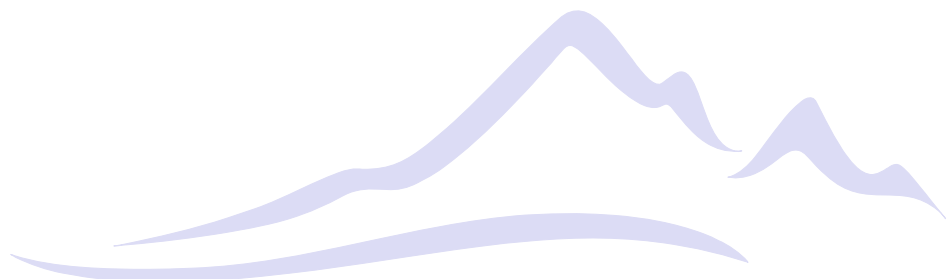


## **Attachment 2 – Reasons for decision to impose conditions**

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The reason for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.

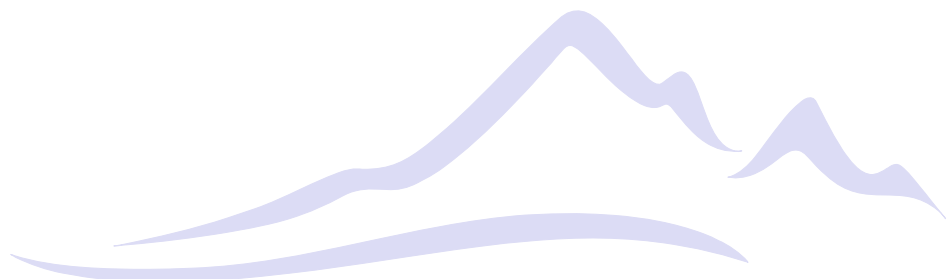


## **Attachment 3 – Approved Plans**

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**Please refer to the following pages for approved plans.**



SITE DETAILS

ADDRESS: 38 STONES AVENUE MOUNT PERRY QLD 4671  
LOT AND PLAN NUMBER: L56 RP28376  
LOCAL COUNCIL NORTH BURNETT REGIONAL COUNCIL  
SITE AREA: 1210 m²  
SITE COVERAGE: 21%

NOTES

THE SITE INFORMATION SHOWN HAS BEEN SUPPLIED BY THE CLIENT AND PREPARED FROM THIS INFORMATION. ANY DISCREPANCIES IN DIMENSIONING SHOULD BE REFERRED TO THE CLIENT FOR VERIFICATION AND SUBSEQUENT AMENDMENTS. DO NOT SCALE DRAWINGS.

DIMENSIONS

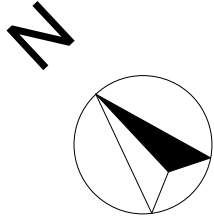
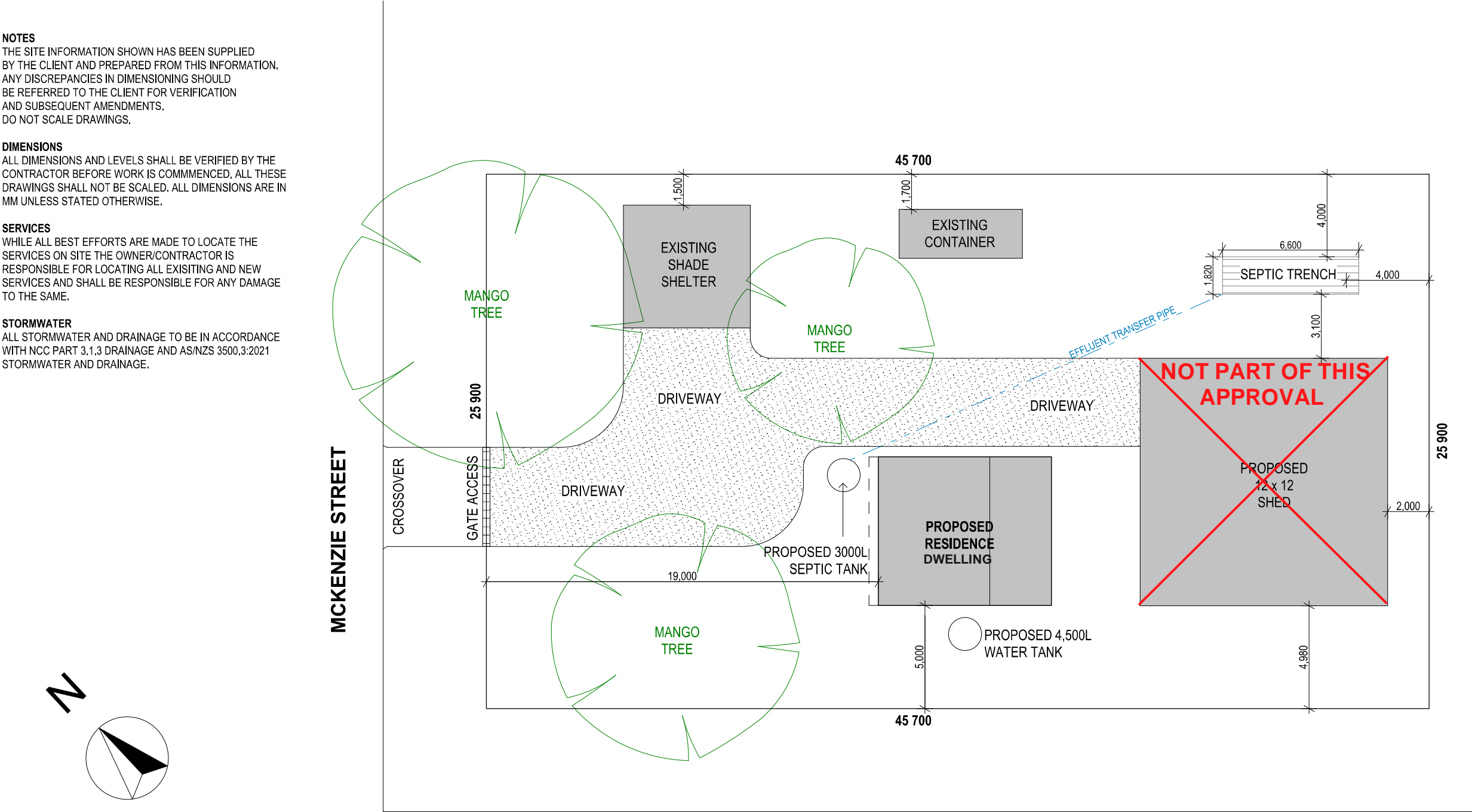
ALL DIMENSIONS AND LEVELS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE WORK IS COMMENCED. ALL THESE DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS ARE IN MM UNLESS STATED OTHERWISE.

SERVICES

WHILE ALL BEST EFFORTS ARE MADE TO LOCATE THE SERVICES ON SITE THE OWNER/CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISITING AND NEW SERVICES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE SAME.

STORMWATER

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH NCC PART 3.1.3 DRAINAGE AND AS/NZS 3500.3:2021 STORMWATER AND DRAINAGE.



SITE PLAN

Scale 1:200

GENERAL NOTES

DESIGN WIND CLASSIFICATION = N3  
BUSHFIRE ATTACK LEVEL - BAL 12.5  
INFORMATION ON THESE DRAWINGS

These drawings depict the setout of the frame and elements included with the Structure. Some items shown on these drawings are not included with the Structure and shall be provided and installed by others ( refer to Schedule of Inclusions ).

All elements of the Structure shall comply with the National Construction Code 2022 Edition and all subsequent amendments and standards referred to therein, together with the requirements of AS 1684-2010 National Framing Code and all other relevant authorities.

All dimensions and levels are to be verified on site prior to putting work in hand. Ground levels and any site information shown on these drawings is based on limited information as supplied. (or where such information is not supplied an assumed surface level is indicated) as such the client is fully responsible for any variations /problems arising from any discrepancies between drawings and the actual ground levels . Should any discrepancy be found between these drawings and any other supporting documentation by others they are to be reported to the relevant body.

These drawings are to be read in conjunction with the following documentation supplied by Prestige Kit Homes:-  
Timber Framing Schedule and forms as applicable  
Energy Efficiency certificates as applicable  
Structural Engineers details (where indicated on the drawings)

ADDITIONAL DOCUMENTATION BY OTHERS

The Owner shall be responsible to provide additional documentation as may be required by the Local Authorities, this may include but not be limited to:-

\*Soils Report / Structural Engineers details for footings, slabs, bracing, tiedown if noted on the drawings.

\*Site Plan showing contours, all external works, downpipe locations, sewerage and stormwater drainage, fences, driveways, retaining walls etc.

\*Details of termite risk management procedures to be undertaken in accordance with NCC Part 3.1.3. and or AS 3600.1

\*Shadow Diagrams

\*Town Planning approvals

GENERALLY

All brickwork shall comply with NCC Part 3.3

All roofing and wall cladding shall comply with NCC Part 3.5

All glazing shall comply with NCC part 3.6

Install Smoke alarms in accordance with NCC Part 3.7.2

Insulation / sarking shall be provided to:

Metal Deck Roof - R1.3 foil faced building blanket installed over rafters

Walls - Flame retardant double sided aluminium foil thermal insulation (perforated to weatherboard wall, non perforated to brick veneer or sheet clad walls) + R2.0 batts between studs

Provide lift off hinges to doors of enclosed sanitary compartments in accordance with NCC Part 3.8.3.3

Stairs and balustrades shall be provide where indicated and as required by NCC and complying with Part 3.9

If the building is to be located in a designated BUSHFIRE PRONE AREA, ALPINE AREA, or area requiring special construction, the Owner/Builder shall be responsible to upgrade the works beyond the standard structure provided and install all necessary protection as required by the NCC.

Where bay windows or the like are to be installed, refer to window manufacturers details for setout

THE BUILDER MUST VERIFY ALL BOUNDARIES, LEVELS, LOCATIONS OF EASEMENTS AND ON-SITE SERVICES PRIOR TO SETOUT AND ENSURE ALL WORKS COMPLY WITH THE LOCAL AUTHORITY AND ANY OTHER RELEVANT AUTHORITIES REQUIREMENTS.

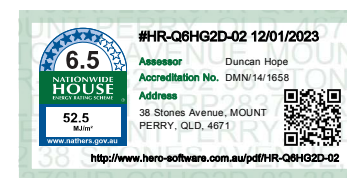
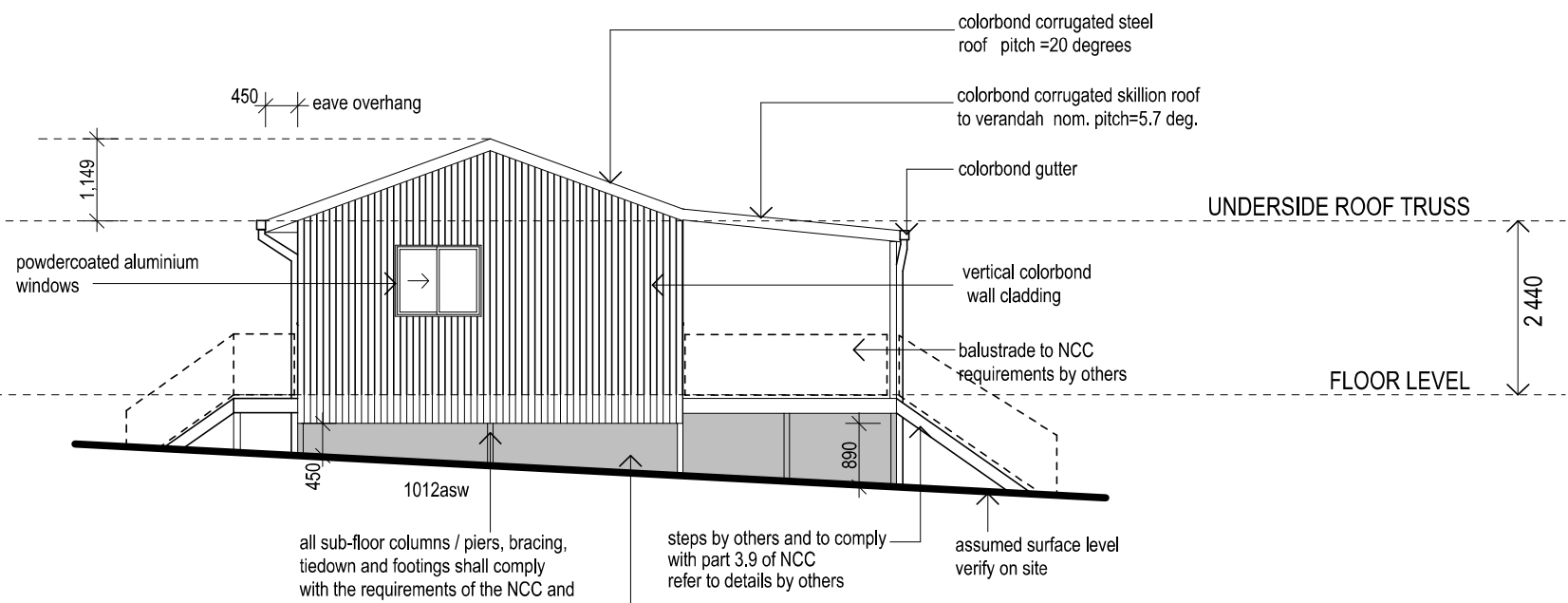
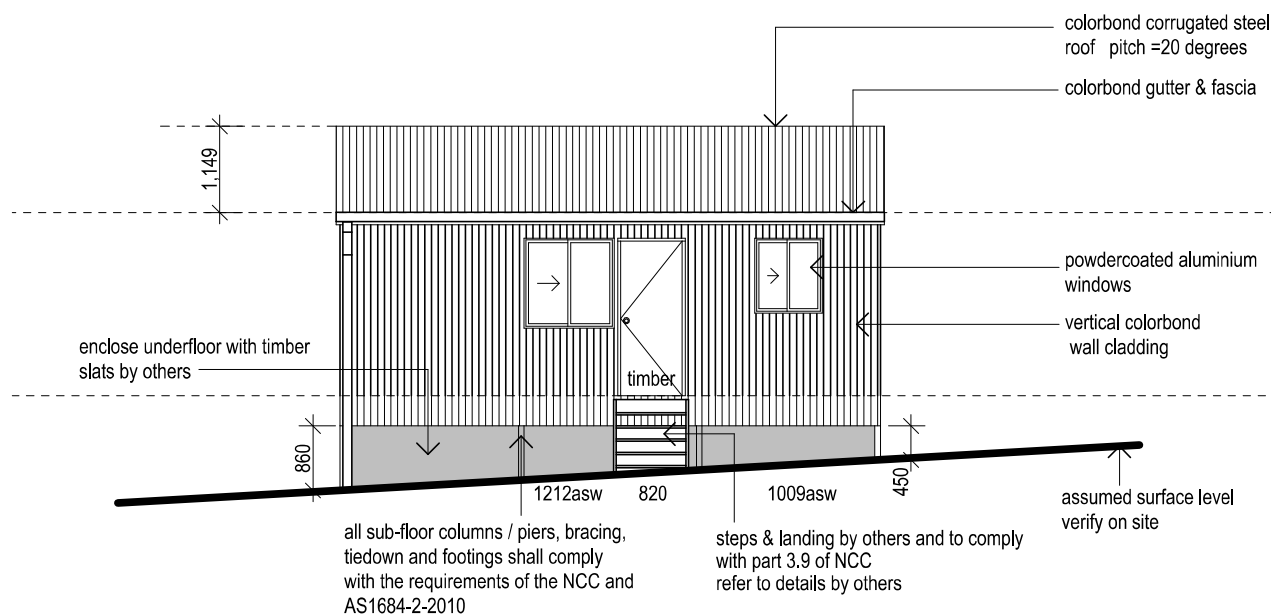
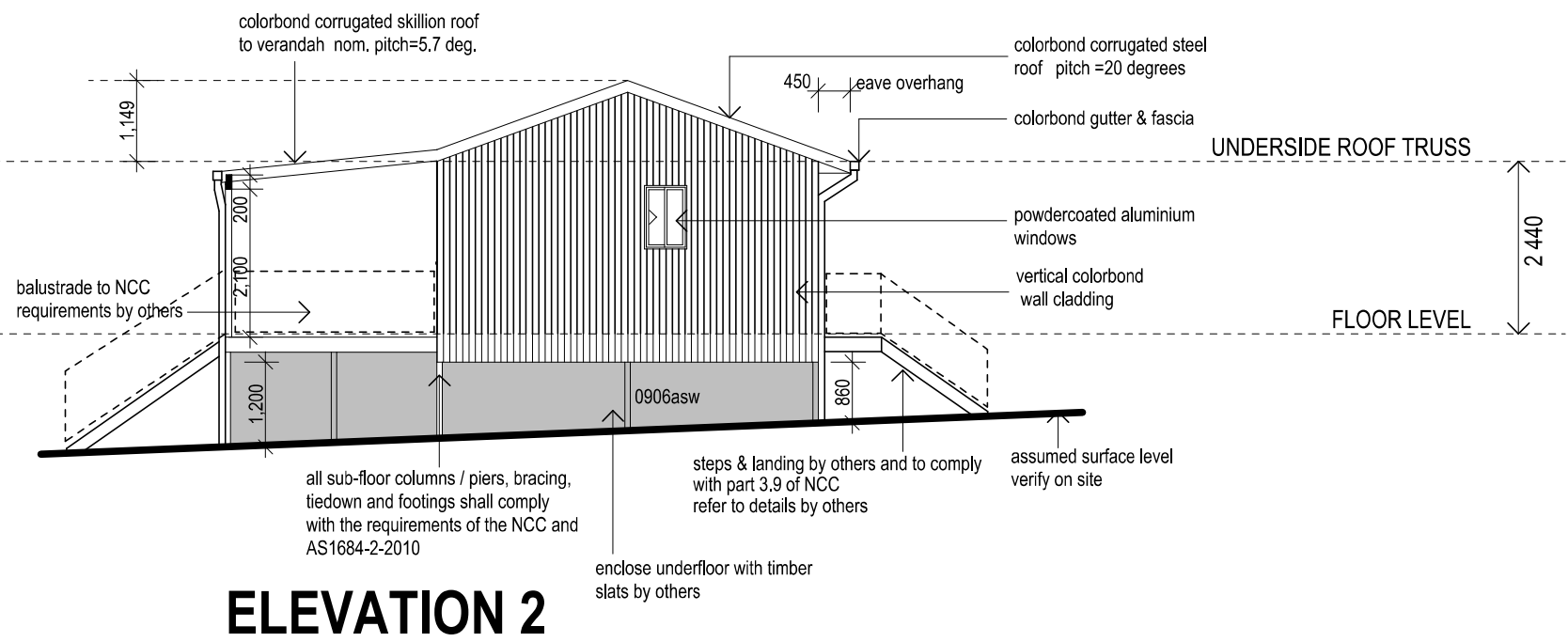
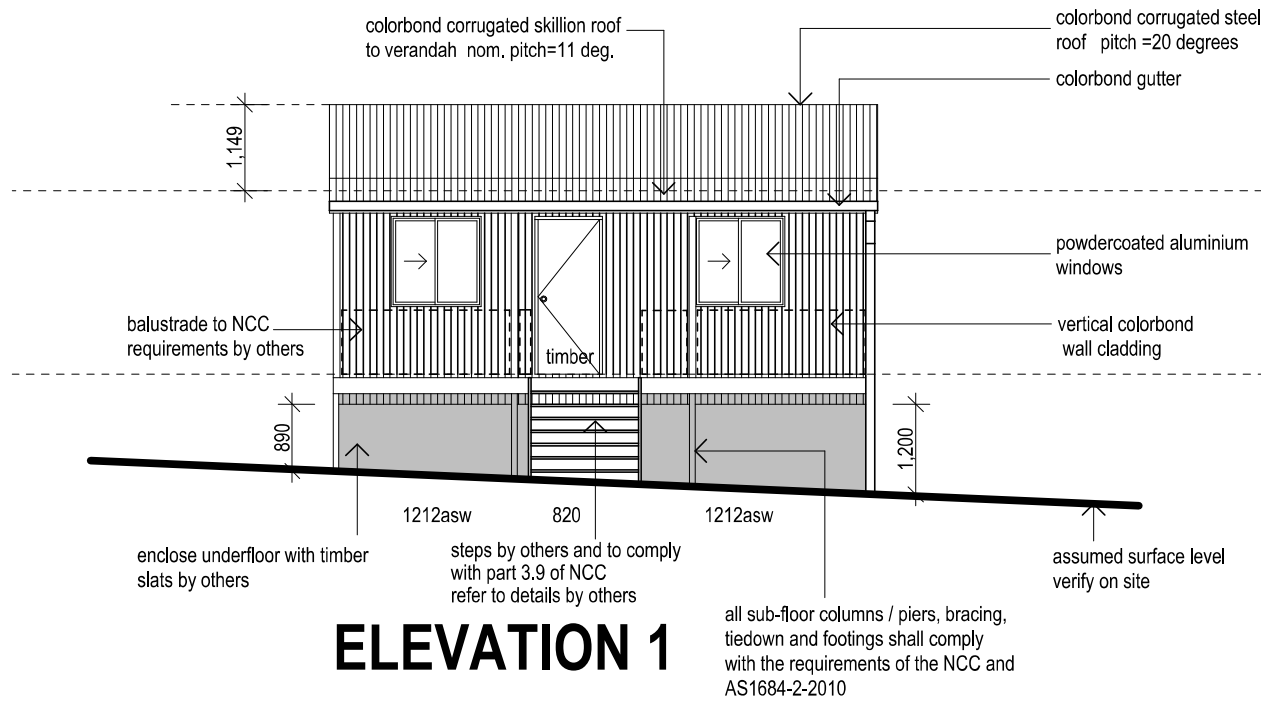
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						1 OF 8	DATE	12/01/2023
						DRAWING ISSUE ####	DRAWN BY jc	SHEET SIZE A3







ALL TIMBER WALL FRAMES INCLUDING LINTELS AND BRACING AS WELL AS TIMBER ROOF TRUSSES, BRACING AND TIE DOWN OF TRUSSES AND FRAMES, VERANDAH BEAMS, POSTS AND RAFTERS ARE TO THE TIMBER FRAME AND TRUSS MANUFACTURER'S SPECIFICATIONS AND ENGINEERING DETAILS. WALL FRAMES AND TRUSSES ARE PRE-NAILED WITH THE ENGINEERING/CERTIFICATION PROVIDED BY THE FRAME MANUFACTURER.

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						4 OF 8	DATE	12/01/2023
						DRAWING ISSUE	DRAWN BY	jc
						####	SHEET SIZE	A3



## **Attachment 4 – Planning Act 2016 Extract Appeal Rights**

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**Please refer to attached document or**

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

