

30 March 2023

Mailing Address: PO Box 390, Gayndah Qld 4625

Street Address: 34-36 Capper Street, Gayndah Qld 4625

Telephone: 1300 696 272 Facsimile: (07) 4161 1425

Email: admin@northburnett.qld.gov.au Web: www.northburnett.qld.gov.au

ABN: 23 439 388 197

Your Reference:

Our Reference: DA230011

Peter Woodforth 38 Stones Avenue MOUNT PERRY QLD 4671

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

STONES AVENUE, MOUNT PERRY (Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 10 March 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name: Peter Woodforth

Applicant contact details: 38 Stones Avenue

MOUNT PERRY QLD 4671

Email: peterwoody05@gmail.com

Phone:

Mobile: 0439 796 198

Site details

Street address: STONES AVENUE, MOUNT PERRY

Real property description: 56RP28376

Application details

Application No: DA230011

Date of Decision 24 March 2023

Proposed development: Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Amenity and Aesthetics

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger Schedule 9 – Building work assessable against the *Building Act*

Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact Schedule 9 – Building work assessable against the *Building Act* Part 3 Division 2 Table 3 Design and Siting – QDC non-

Part 3 Division 2 Table 3 Design and Siting – QDC noncompliance and/or QDC alternate provision assessment

Decision

Decision Details: The North Burnett Regional Council advises the assessment

manager that;

The development approval must be subject to stated development conditions set out in <u>Attachment 1</u>.

Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in <u>Attachment 2</u>.

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date	
65933 – WD1 Site Plan by Prestige Kit Homes		12/01/2023	
65933 – WD3 Floor Plan by Prestige Kit Homes		12/01/2023	
65933 – WD4	Elevations 1 to 4 by Prestige Kit Homes	12/01/2023	

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully

David Rowland

Interim Planning and Environment Manager

Enc: Attachment 1-conditions to be imposed

Attachment 2-reasons for decision to impose conditions

Attachment 3-appeal rights

Attachment 4-plans



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ABN:

Attachment 1 – Conditions to be imposed by Concurrency Agency

No.	Conditions				
Gene	General				
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.				
Desig	Design and Siting				
2.	The approved dwelling must be sited a minimum five (5) metres from Stones Street property boundary, with all setbacks measured from the outermost projection of the structure.				
3.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments. Zincalume is not to be used on the walls of the structure.				
Use					
4.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit				
5.	The openings of the approved dwelling must not be enclosed in accordance with Approved Plan documentation				

Attachment 1B - Advice Notes

A.	This Concurrence Agency Response does not represent a development approval for	
	Building Works under the <i>Building Act 1975</i> .	
B.	All building works the subject of this notice can only proceed once a development perr	
	for building works is issued by a Building Certifier.	



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Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.



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Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.



SITE DETAILS

ADDRESS: 38 STONES AVENUE MOUNT PERRY QLD 4671

LOT AND PLAN NUMBER: L56 RP28376

LOCAL COUNCIL NORTH BURNETT REGIONAL COUNCIL

SITE AREA: 1210 m² SITE COVERAGE: 21%

NOTES

THE SITE INFORMATION SHOWN HAS BEEN SUPPLIED BY THE CLIENT AND PREPARED FROM THIS INFORMATION. ANY DISCREPANCIES IN DIMENSIONING SHOULD BE REFERRED TO THE CLIENT FOR VERIFICATION AND SUBSEQUENT AMENDMENTS. DO NOT SCALE DRAWINGS.

DIMENSIONS

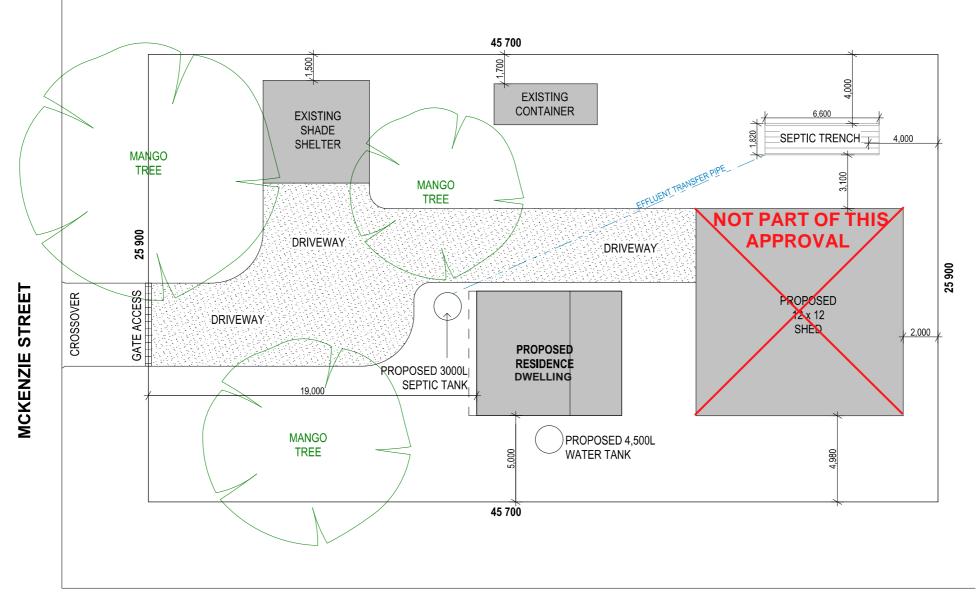
ALL DIMENSIONS AND LEVELS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE WORK IS COMMMENCED, ALL THESE DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS ARE IN MM UNLESS STATED OTHERWISE.

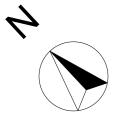
SERVICES

WHILE ALL BEST EFFORTS ARE MADE TO LOCATE THE SERVICES ON SITE THE OWNER/CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISITING AND NEW SERVICES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE SAME.

STORMWATER

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH NCC PART 3,1,3 DRAINAGE AND AS/NZS 3500,3:2021 STORMWATER AND DRAINAGE.





SITE PLAN

Scale 1:200

STONES AVENUE



GENERAL NOTES DESIGN WIND CLASSIFICATION = N3

INFORMATION ON THESE DRAWINGS

These drawings depict the setout of the frame and elements included with the Structure. Some items shown on these drawings are not included with the Structure and shall be provided and installed by others (refer to Schedule of Inclusions).

BUSHFIRE ATTACK LEVEL - BAL 12.5

All elements of the Structure shall comply with the National Construction Code 2022 Edition and all subsequent amendments and standards referred to therein, together with the requirements of AS 1684-2010 National Framing Code and all other relevant authorities.

All dimensions and levels are to be verified on site prior to putting work in hand. Ground levels and any site information shown on these drawings is based on limited information as supplied.

(or where such information is not supplied an assumed surface level is indicated) as such the client is fully responsible for any variations /problems arising from any discrepancies between drawings and the actual ground levels . Should any discrepancy be found between these drawings and any other supporting documentation by others they are to be reported to the relevant body.

These drawings are to be read in conjunction with the following documentation supplied by Prestige Kit Homes:-

Timber Framing Schedule and forms as applicable Energy Efficiency certificates as applicable

Structural Engineers details (where indicated on the drawings)

Structural Engineers details (where indicated on the drawing

ADDITIONAL DOCUMENTATION BY OTHERS

The Owner shall be responsible to provide additional documentation as may be required by the Local Authorities, this may include but not be limited to:-

limited to:*Soils Report / Structural Engineers details for footings, slabs, bracing, tiedown if noted on the drawings.

tiedown if noted on the drawings.

"Site Plan showing contours, all external works, downpipe locations, sewerage and stormwater drainage, fences, driveways, retaining walls etc.

*Details of termite risk management procedures to be undertaken in accordance with NCC Part 3.1.3. and or AS 3600.1

*Shadow Diagrams

*Town Planning approvals

GENERALLY

All brickwork shall comply with NCC Part 3.3

All roofing and wall cladding shall comply with NCC Part 3.5

All glazing shall comply with NCC part 3.6

Install Smoke alarms in accordance with NCC Part 3.7.2

Insulation / sarking shall be provided to:

Metal Deck Roof - R1.3 foil faced building blanket installed over rafters Walls - Flame retardant double sided aluminium foil thermal insulation (perforated to weatherboard wall, non perforated to brick veneer or sheet clad walls) + R2.0 batts between studs

Provide lift off hinges to doors of enclosed sanitary compartments in accordance with NCC Part 3.8.3.3

Stairs and balustrades shall be provide where indicated and as required by NCC and complying with Part 3.9

If the building is to be located in a designated BUSHFIRE PRONE AREA, ALPINE AREA, or area requiring special construction, the Owner/Builder shall be responsible to upgrade the works beyond the standard structure provided and install all necessary protection as required by the NCC.

Where bay windows or the like are to be installed, refer to window manufacturers details for setout

THE BUILDER MUST VERIFY ALL BOUNDARIES, LEVELS, LOCATIONS OF EASEMENTS AND ON-SITE SERVICES PRIOR TO SETOUT AND ENSURE ALL WORKS COMPLY WITH THE LOCAL AUTHORITY AND ANY OTHER RELEVANT AUTHORITIES REQUIREMENTS.

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Homes Built On Trust

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ABN 29 167 470 166

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52.5

#HR-Q6HG2D-02 12/01/2023

CLIENT

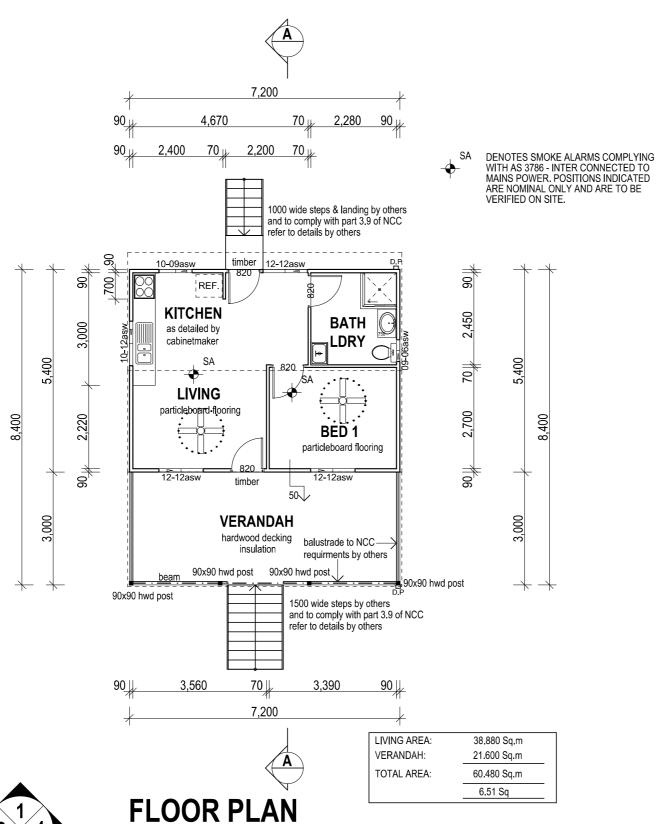
RENAE AND PETER
WOODFORTH

PROJECT ADDRESS

LOT 56, 38 STONES AVENUE,
MOUNT PERRY, QLD. 4671

TITLE
WD1
DRAWING
1 OF 8
DRAWING I

DRAWING NO.	JOB NO.	65933
1 OF 8	DATE	12/01/20
DRAWING ISSUE	DRAWN BY	jc
####	SHEET SIZE	A3





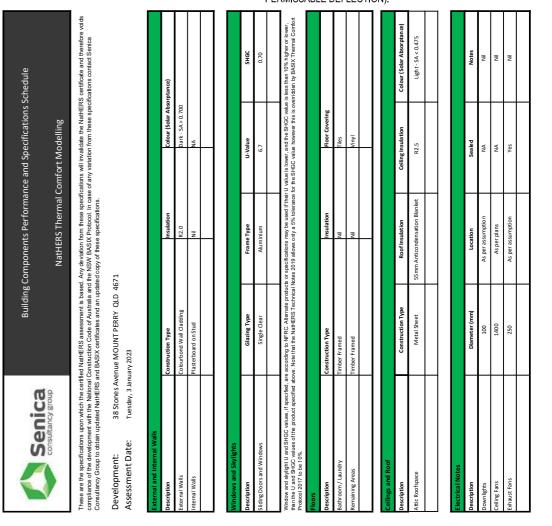
STAIR & BALUSTRADE REGULATIONS

STAIRS ARE GENERALLY TO COMPLY WITH THE REQUIREMENTS OF PART 3.9 OF THE NATIONAL CONSTRUCTION CODE.

MIN.TREAD SHAL BE 240MM, MIN. RISER SHALL BE 115MM, MAX. RISER SHALL BE 190MM.

THE SPACE BETWEEN OPEN TREADS SHALL NOT EXCEED 125MM. TREADS SHALL BE A NON SLIP SURFACE. ALL TREADS AND RISERS IN A FLIGHT OF STAIRS SHALL BE OF CONSISTENT DIMENSIONS. BALUSTRADES SHALL BE A MINIMUM OF 1000MM ABOVE LANDINGS WITH A MAXIMUM OPENING OF 125MM AND GENERALLY IN ACCORDANCE WITH BCA CLAUSE 3.9.2

FOR STAINLESS STEEL AND SIMILAR BALUSTRADING, REFER TO NCC TABLE 3,9,2,1 (WIRE BALUSTRADE PERFORMANCE SPECIFICATION- REQUIRED WIRE TENSION AND MAXIMUM PERMISSABLE DEFLECTION).



TERMITE PROTECTION NOTES

ALL BUILDING WORK SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. ALL STRUCTURAL ELEMENTS AS DEFINED BY THE NATIONAL

CONSTRUCTION CODE ARE TO BE OF TERMITE RESISTING CONSTRUCTION.

A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER, DATE OF INSTALLATION AND REQUIRED PERIODICAL INSPECTIONS.



ALL TIMBER WALL FRAMES INCLUDING LINTELS AND BRACING AS WELL AS TIMBER ROOF TRUSSES, BRACING AND TIE DOWN OF TRUSSES AND FRAMES, VERANDAH BEAMS, POSTS AND RAFTERS ARE TO THE TIMBER FRAME AND TRUSS MANUFACTURER'S SPECIFICATIONS AND ENGINEERING DETAILS.

WALL FRAMES AND TRUSSES ARE PRE-NAILED WITH THE ENGINEERING/CERTIFICATION PROVIDED BY THE FRAME MANUFACTURER.





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DOWNPIPE LOCATIONS ARE NOMINAL ONLY

AND ARE TO BE CONFIRMED ON SITE PRIOR TO

WINDOW SIZES ARE SHOWN AS HEIGHT X WIDTH.

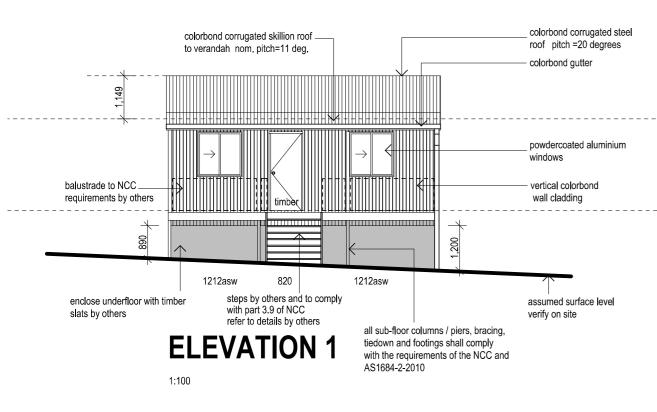
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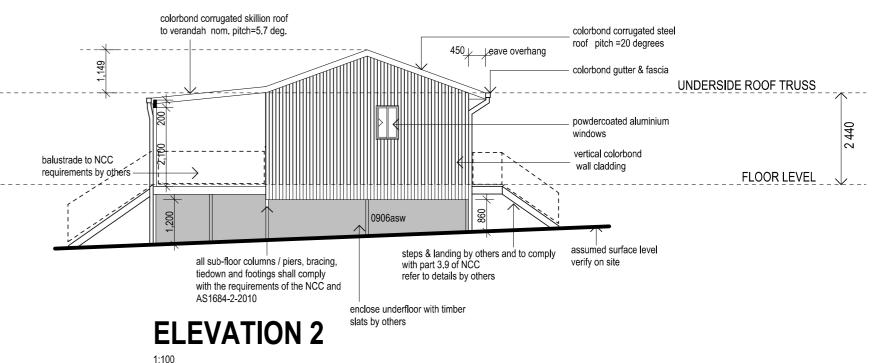
RENAE AND PETER WOODFORTH

PROJECT ADDRESS

LOT 56, 38 STONES AVENUE, MOUNT PERRY, QLD, 4671

TITLE	DRAWING NO.	JOB NO.	65933
WD3	3 OF 8	DATE	12/01/2023
	DRAWING ISSUE	DRAWN BY	jc
	####	SHEET SIZE	A3





colorbond corrugated steel roof pitch =20 degrees colorbond gutter & fascia powdercoated aluminium windows vertical colorbono enclose underfloor with timber wall cladding slats by others 1009asw 1212asw assumed surface level verify on site all sub-floor columns / piers, bracing, steps & landing by others and to comply with part 3.9 of NCC tiedown and footings shall comply with the requirements of the NCC and refer to details by others

colorbond corrugated steel roof pitch =20 degrees colorbond corrugated skillion roof 450 eave overhang to verandah nom. pitch=5.7 deg. colorbond gutter UNDERSIDE ROOF TRUSS powdercoated aluminium vertical colorbond windows wall cladding balustrade to NCC requirements by others FLOOR LEVEL 1012asw steps by others and to comply all sub-floor columns / piers, bracing, assumed surface level with part 3.9 of NCC tiedown and footings shall comply verify on site refer to details by others with the requirements of the NCC and AS1684-2-2010 enclose underfloor

slats by others

ELEVATION 3

1:100



ELEVATION 4



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CLIENT

RENAE AND PETER WOODFORTH

PROJECT ADDRESS

LOT 56, 38 STONES AVENUE, MOUNT PERRY, QLD, 4671

TITLE	DRAWING NO.	JOB NO.	65933
WD4	4 OF 8	DATE	12/01/2023
	DRAWING ISSUE	DRAWN BY	jc
	####	SHEET SIZE	A3



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Attachment 4 - Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

https://www.legislation.gld.gov.au/view/html/inforce/current/act-2016-025#ch.6

https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1

