

12 April 2023

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Street Address: 34-36 Capper Street, Gayndah Qld 4625
Telephone: 1300 696 272
Facsimile: (07) 4161 1425
Email: admin@northburnett.qld.gov.au
Web: www.northburnett.qld.gov.au
ABN: 23 439 388 197

Your Reference:
Our Reference: DA230013

M Rapley
17 Charles Street
MUNDUBBERA QLD 4626
Via email: mrsfussy@hotmail.com

Dear Margaret

CONCURRENCE AGENCY RESPONSE

17 CHARLES STREET, MUNDUBBERA
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 16 March 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name: Margaret Rapley
Applicant contact details: 17 Charles Street
MUNDUBBERA QLD 4626
Email: mrsfussy@hotmail.com
Phone:
Mobile: 0460 862 499

Site details

Street address: 17 CHARLES STREET, MUNDUBBERA
Real property description: 36CP853094

Application details

Application No: DA230013
Date of Decision: 6 April 2023
Proposed development: Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Shed converted to Dwelling (Class 1a)

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger Schedule 9 – Building work assessable against the *Building Act* Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact

Decision

Decision Details: The North Burnett Regional Council advises the assessment manager that;
The development approval must be subject to stated development conditions set out in Attachment 1.

Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

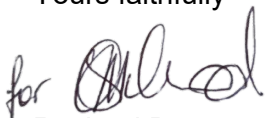
Document No./ Reference	Title (prepared by)	Date
	Aerial – existing shed	
	Landscaping plan by North Burnett Regional Council	12/04/2023
	Site plan by HA & BJ Eriksen	15/04/1998
Q—001-0030	Floor plan and elevations signed by John Towler	
J10916-SK01	Floor plan and elevations signed by John Towler	

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully

for 

Rachael Duncan

Acting Planning and Environment Manager

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans

Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The roller doors of the approved structure must be removed as per approved plan J10916-SK01 "Floor Plan and Elevations" signed by RPEQ John L Towler. The roller door on the right view and between C1 and C2 is to be infilled with walling and the roller door between C2 and C3 is to be replaced with a glass sliding door.
3.	Roller door infill wall finishes are to match the colour and finish of the surrounding wall area of the building or structure.
4.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
Use	
5.	The use of the approved structure must not be used for industrial/business use unless a valid development approval is granted for such use. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling House and is to be used for private/domestic purposes only.
Landscaping	
6.	Establish landscaping for screening purposes as amended in red by Council on the endorsed landscaping plan. Landscaping must consist of a minimum of one (1) small tree and/or shrub at 1.5 metre centres.
7.	Maintain the new landscaping on the site to the satisfaction of the Concurrence Agency

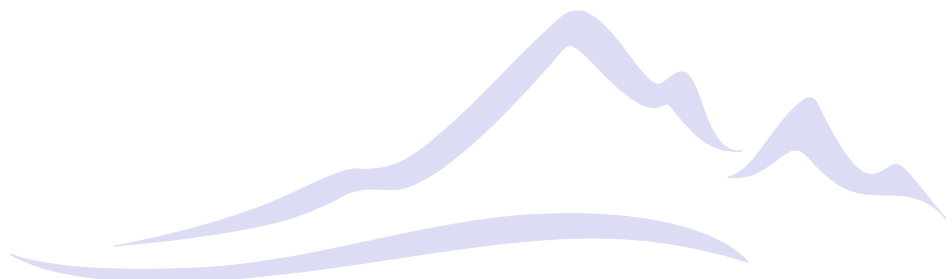
Attachment 1B – Advice Notes

A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Prior to any alteration or modification of a building, it is recommended that an inspection be undertaken of the resite/removal dwelling or building by a qualified person/s to determine the existence of Asbestos Cement Material (ACM), Asbestos Cement Products (ACP) or any other material not deemed as an acceptable construction material as defined in the Australian Standards or the Building Code of Australia.

Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

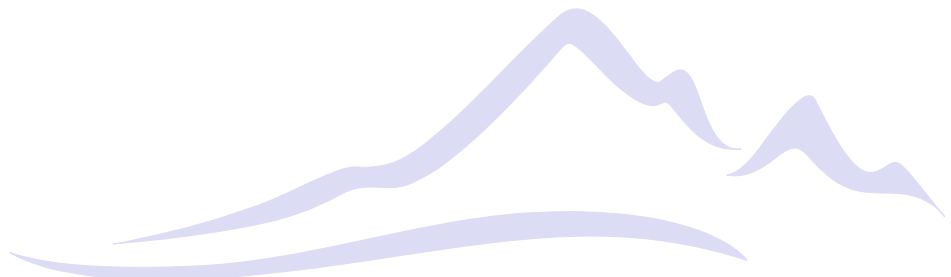
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.



Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.



Existing Shed
@ 17 Charles St
Mundubberra



APPROVED PLANS

These plans are associated to the
decision notice for application number

DA230013



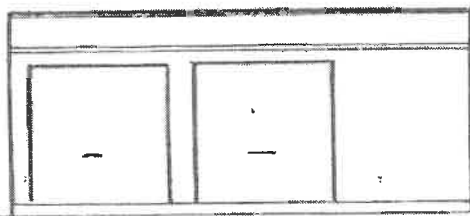
While every care is taken to ensure the accuracy of this data, the North Burnett Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibilities and all liabilities (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you may incur as a result of the data being inaccurate or incomplete in anyway and for any reason.

17 Charles Street
Mundubbera
Landscaping Plan

12/04/2023

1:366

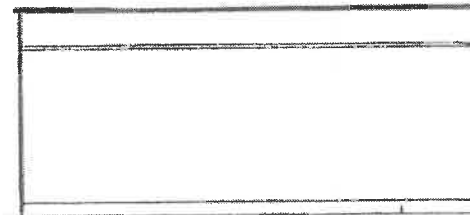




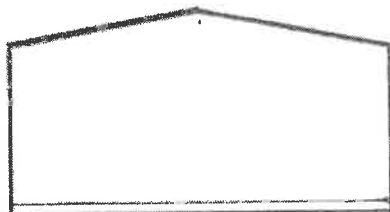
FRONT



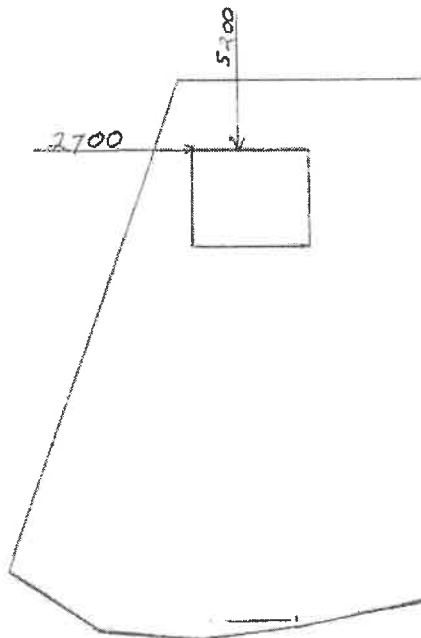
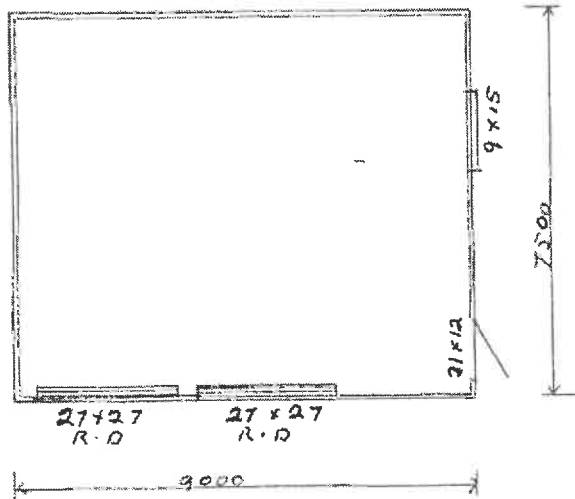
R.H. SIDE



BACK



L.H. SIDE



SITE PLAN LOT 36 CHARLES ST

WORKPLACE HEALTH AND SAFETY ACT 1995

Principal Contractors have particular workplace health and safety obligations under this Act. Owners of domestic premises to be constructed, are not Principal Contractors unless they are in control of the building work, hold an owner builder permit and intend to reside at the premises. Contact your nearest office of the Division of Workplace Health and Safety for information.

BUILDING APPLICATION NUMBER 826/98
Erection of this building work in accordance with the plans, drawings and specifications and all amendments and conditions endorsed in RED thereon, is hereby Approved by the MUNDUBBERA SHIRE COUNCIL.

C.N. WEBER

CHIEF EXECUTIVE OFFICER

Per. *[Signature]* Date 15/4/98



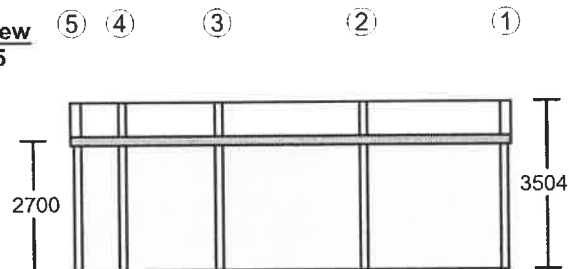
APPROVED PLANS

These plans are associated to the decision notice for application number

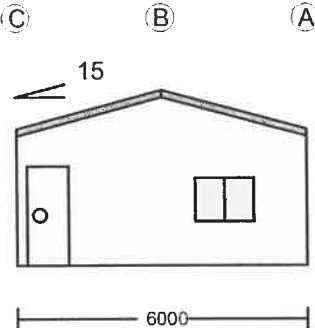
DA230013

H.A @ BJ ERIKSEN
LOT 36 CHARLES ST
MUNDUBBERA
PROPOSED GARAGE

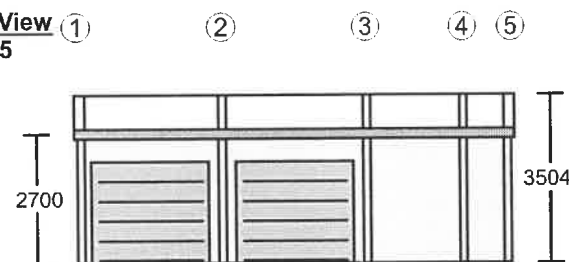
Left View
A1 - A5



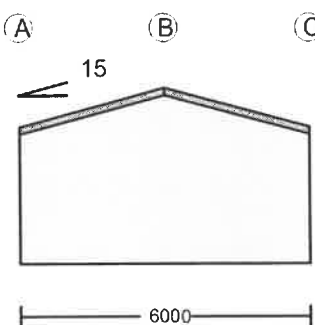
Rear View
C5 - A5



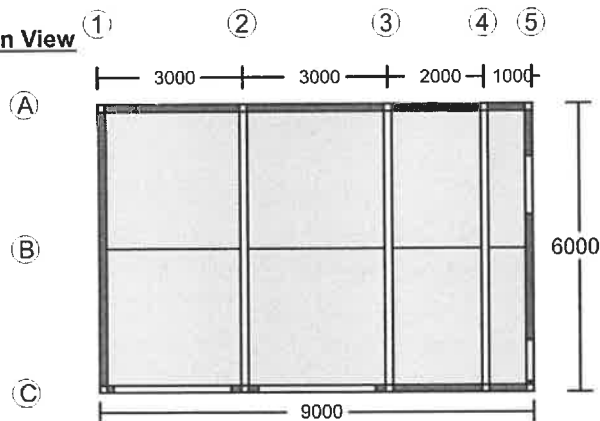
Right View
C1 - C5



Front View
A1 - C1



Plan View



Existing Shed Construction
M&S Stud Framing
0.75mm Studs @ 1m ctrs
Trusses @ ctrs noted (Max 3m)

gd 2h



No company branch
assigned to current
user

CLADDING

ITEM	FINISH	COLOUR
ROOF	ZINCALUME	ZINCALUME
WALLS	COLORBOND	CLASSIC CREAM
BARGE	COLORBOND	PALE EUCALYPT
GUTTER	COLORBOND	PALE EUCALYPT
DOWNPIPE	COLORBOND	CLASSIC CREAM

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
2	Roller Door	2130H x 2440W
1	PA Door	PA Door 2060 x 855 CB
1	Window	Window 0900 x 1210 N5 WZ

ARCHITECTURAL DRAWING ONLY
NOT FOR CONSTRUCTION USE

Wind Category
44N

CLIENT
Margaret Rapley

SITE
17 Charles St Munduberra
4626

BUILDING
1 ASCOT PORTAL FRAME GARAGE
6m SPAN x 2.7m HIGH x 9m LONG

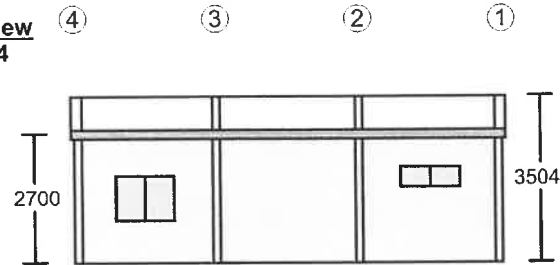
TITLE

FLOOR PLAN & ELEVATION

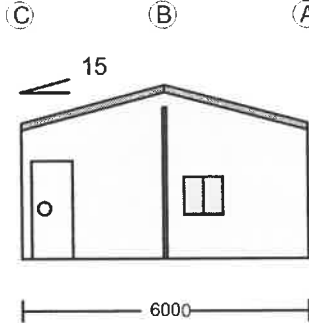
DRAWING NUMBER
Q--001-0030

PAGE
1 / 1

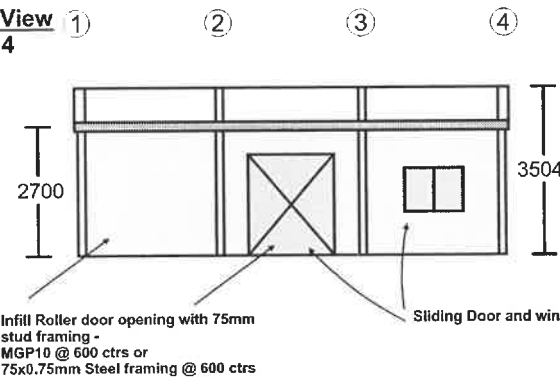
Left View
A1 - A4



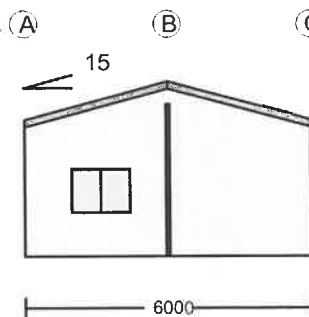
Rear View
C4 - A4



Right View
C1 - C4



Front View
A1 - C1



gla

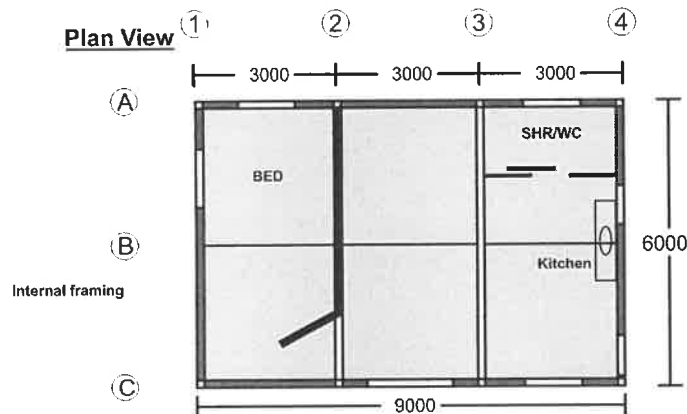
PROPOSED CLASS 1 LAYOUT

NOTE - This internal layout and window and doors is proposed only for concept purposes. The actual doors and windows will be subject to a Building Designer input and certification.

Existing framing is 75mm M&S stud and plates and nogginns with studs @ 1.0m ctrs. Welded Stud trusses @ 3m ctrs max

Proposed framing
Internal is non load bearing
stud framing -
MGP10 @ 600 ctrs or
75x0.75mm Steel framing @ 600 ctrs
Internal Linings - 0.42 Corro or Mini Corro
Ceiling framing - 64 x 0.75mm roof battens @ 900 ctrs

Plan View



CLADDING

ITEM	FINISH	COLOUR
ROOF	ZINCALUME	ZINCALUME
WALLS	COLORBOND	CLASSIC CREAM
BARGE	COLORBOND	PALE EUCALYPT
GUTTER	COLORBOND	PALE EUCALYPT
DOWNPIPE	COLORBOND	CLASSIC CREAM

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
1	PA Door	PA Door 2060 x 855 CB
1	Window	Window 0790 x 816 N5 WZ
3	Window	Window 0900 x 1210 N5 WZ
1	Window	Window 0400 x 1210 N5 WZ
1	Sliding Door	Sliding Glass Door 2100x1800 N5 WZ

ARCHITECTURAL DRAWING ONLY
NOT FOR CONSTRUCTION USE

Wind Category
44N

CLIENT
Margaret Rapley

SITE
17 Charles St Munduberra
4626

BUILDING
1 ASCOT PORTAL FRAME GARAGE
6m SPAN x 2.7m HIGH x 9m LONG

TITLE

FLOOR PLAN & ELEVATION

DRAWING NUMBER
J10916-SK01

PAGE
1 / 1



 Cassandra Lynn and 8 others



9



APPROVED PLANS

These plans are associated to the
decision notice for application number

DA230013



Connect with Danielle Meyer Rural on Facebook

Log in

Or

Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

