

4 May 2023

Your Reference:  
 Our Reference: DA230017

J Stoyanova  
 23 Flinders Street  
 MUNDUBBERA QLD 4626

Dear Julie

**CONCURRENCE AGENCY RESPONSE**  
 23 FLINDERS STREET, MUNDUBBERA  
 (Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 13 April 2023 The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

**Applicant details**

Applicant name: RB Carpentry  
 Applicant contact details: 45 Burnett Street  
 MUNDUBBERA QLD 4626  
 Email: [beutel@bigpond.net.au](mailto:beutel@bigpond.net.au)  
 Phone:  
 Mobile: 0428 654 069

**Site details**

Street address: 23 FLINDERS STREET, MUNDUBBERA  
 Real property description: 3RP84285

**Application details**

Application No: DA230017  
 Date of Decision: 4 May 2023  
 Proposed development: Development Permit for Building Works

**Aspects of development and type of approval being sought**

Nature of Development	Approval Type	Brief Description of Proposal
Building Work - assessable against planning scheme	Development Permit	Shed within the flood hazard code

## **Referral triggers**

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The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger                      Schedule 9 – Building work assessable against the *Building Act*  
Part 3 Division 2 Table 12 Flood Hazard Area

## **Decision**

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Decision Details:                      The North Burnett Regional Council advises the assessment manager that;  
The development approval must be subject to stated development conditions set out in Attachment 1.

## **Conditions**

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This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

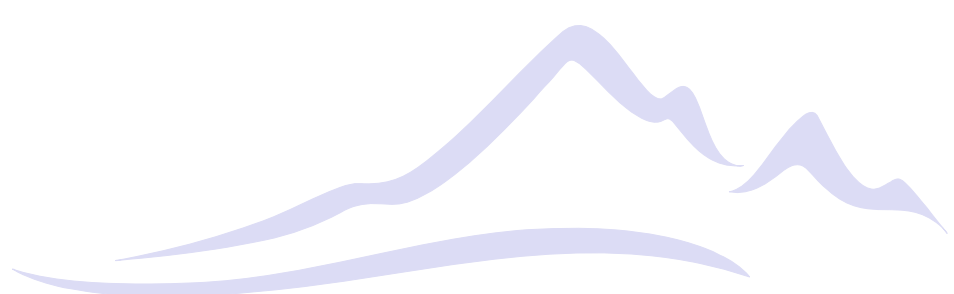
## **Reasons for decision to impose conditions**

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Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

## **Approved Plans and Specifications**

<b>Document No./ Reference</b>	<b>Title (prepared by)</b>	<b>Date</b>
	Site plan by applicant (NBRC mapping)	07/03/2023
	Aerial Image by applicant (NBRC mapping)	07/03/2023
Drawing 01 Rev A	Slab & Footing Plan by Rob Beutel	02/03/2023
Drawing 06 Rev A	Elevations Framing by Rob Beutel	02/03/2023
Drawing 07 Rev A	Elevations Framing by Rob Beutel	02/03/2023
Drawing 12 Rev A	Connection Details by Rob Beutel	02/03/2023



### **Giving of the Notice**

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

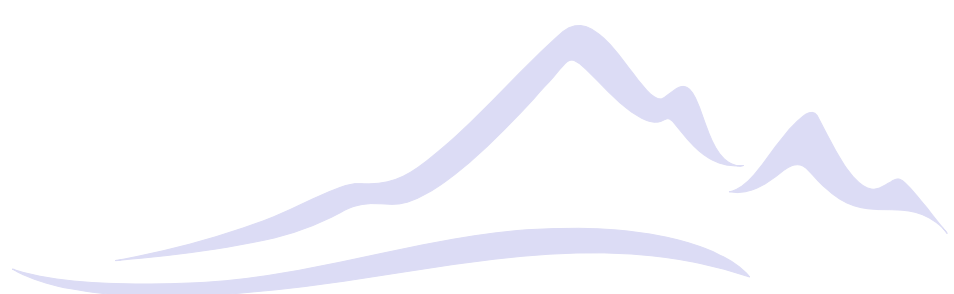
Yours faithfully

for 

Rachael Duncan

**Planning and Environment Manager**

Enc: Attachment 1-conditions to be imposed  
Attachment 2-reasons for decision to impose conditions  
Attachment 3-appeal rights  
Attachment 4-plans

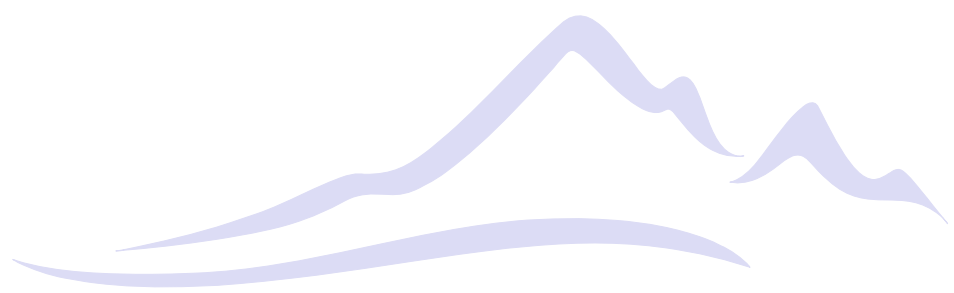


## Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
<b>General</b>	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
<b>Design and Siting</b>	
2.	The approved shed must be sited a minimum 12 metres from the existing dwelling and 1.5 metres from the side and rear property boundary, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved shed must not exceed 30m <sup>2</sup>
4.	The overall height of the approved shed must not exceed 3.5 metres measured from natural ground level. Any earthworks required for the development must be undertaken in such a way as to ensure that the height of the building complies with this condition.
5.	Electrical infrastructure to be above the defined flood level identified on overlay map flood hazard – Mundubbera Sheet 14 of 15 plan reference OH-FM-014 from the North Burnett Regional Council Planning Scheme
<b>Use</b>	
6.	The approved shed is to be used for private/domestic purposes only. The approved structure must not be used as a separate domicile/dwelling or used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
7.	The approved shed must not be used for habitable purposes.

## Attachment 1B – Advice Notes

A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Please note this amenity and aesthetics assessment pertains to the approval of a class 10 building only (defined as Domestic Carport, Shed and Garage (10a)). It is recommended that clarification from a Building Certifier be sought to ensure that an appropriate building classification is applied to align with the building size, purpose, use and intent of operations within the building.

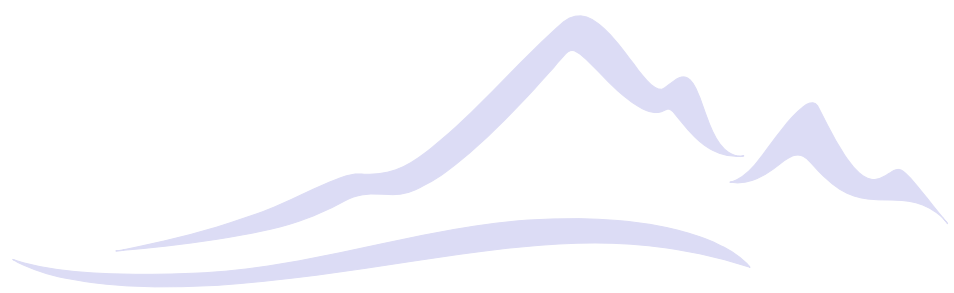


## **Attachment 2 – Reasons for decision to impose conditions**

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The reason for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The dwelling is existing prior to the 2013 flood level adopted in the North Burnett Regional Council Planning Scheme a shed of the size proposed will not increase the risk to the residents of the property as it is not to be used for habitable purposes.



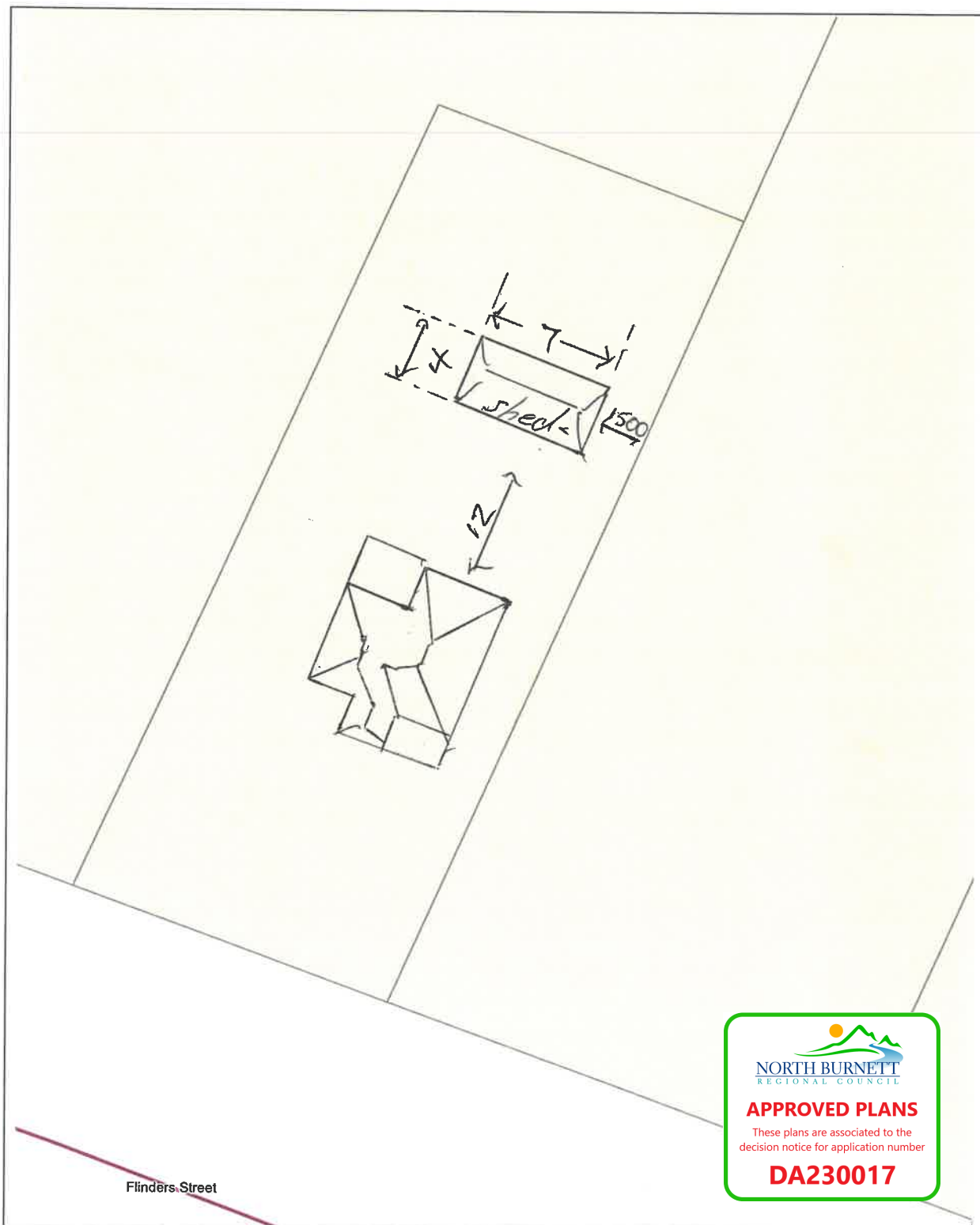
## **Attachment 3 – Approved Plans**

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**Please refer to the following pages for approved plans.**






**APPROVED PLANS**  
 These plans are associated to the  
 decision notice for application number  
**DA230017**



While every care is taken to ensure the accuracy of this data, the North Burnett Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibilities and all liabilities (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you may incur as a result of the data being inaccurate or incomplete in anyway and for any reason.

7/03/2023



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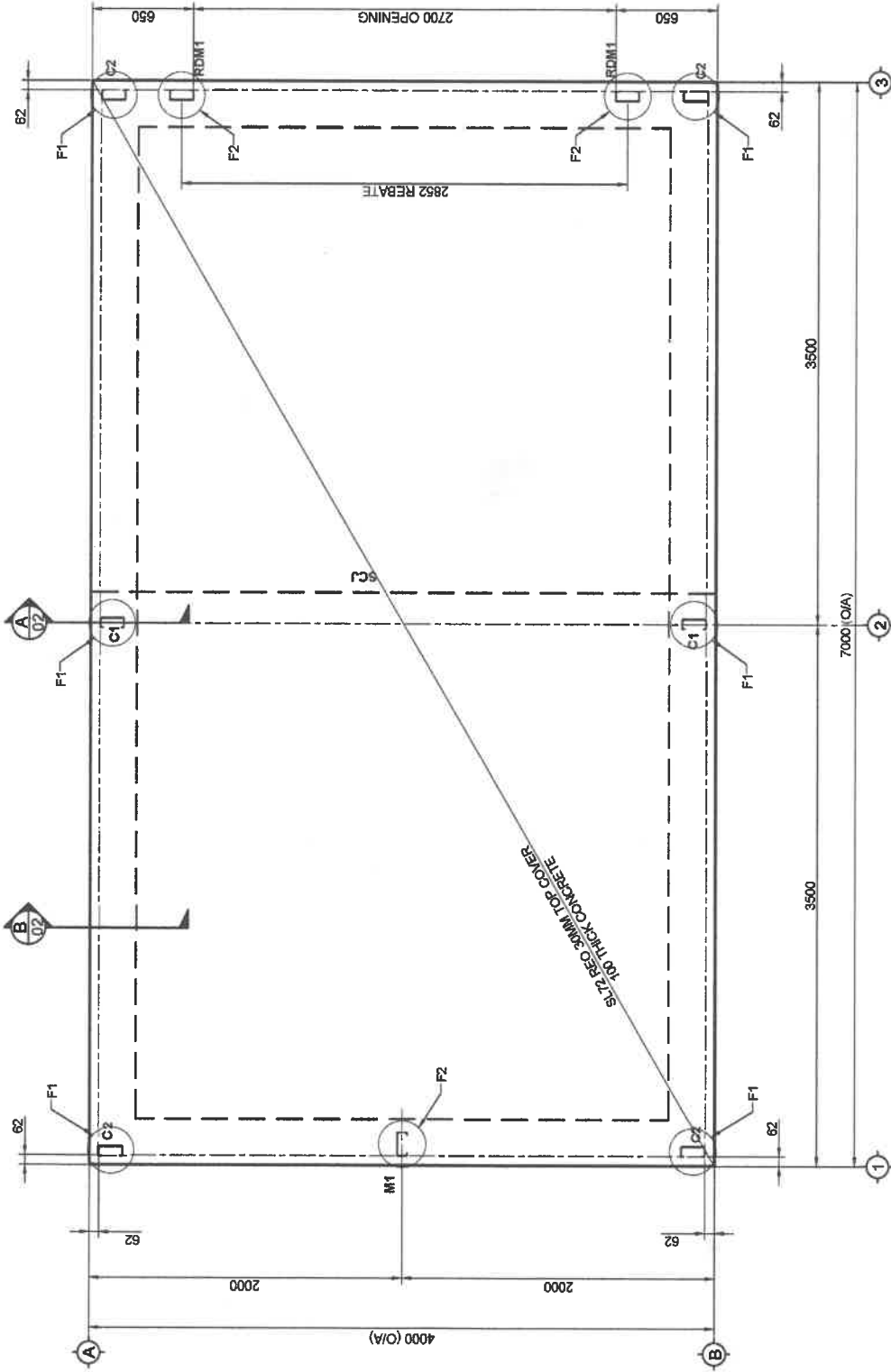
	<p>While every care is taken to ensure the accuracy of this data, the North Burnett Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibilities and all liabilities (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you may incur as a result of the data being inaccurate or incomplete in anyway and for any reason.</p>	<p>23 flinders st mbera</p>	<p>7/03/2023</p>	
				<p>1:394</p>



NOTES

THE ROLLER DOOR NEED TO MAKE 300MM SLOPE WITH 35MM FALL.  
 THE ON SLAB BRACKETS ARE ONLY TO BE USED FOR THE COLUMNS.  
 THE ENDWALL AND ROLLERDOOR MULLIONS ARE TO BE FIXED DOWN WITH 2/12X100 DYNABOLTS  
 THE SLAB NEEDS EITHER A PIER AS SCHEDULED UNDER EACH COLUMN OR  
 A 300 DEEP X 300 WIDE PERIMETER FOOTING.  
 SLAB & FOOTING HAS BEEN DESIGNED TO CLASS A S & M. ANY VARIANCE CONSULT ENGINEER.  
 THE INSTALLER'S RESPONSIBILITY TO VERIFY THE SOIL CAPACITY DURING THE INSTALLATION.

INTEGRAL SLAB / FOOTING	
F1 "Ø"	400mm
F2 "Ø"	300mm
SLAB	
REINFORCEMENT	SL72, 30mm COVER
SLAB THICKNESS	100mm



**SLAB & FOOTING PLAN**  
SCALE 1:30

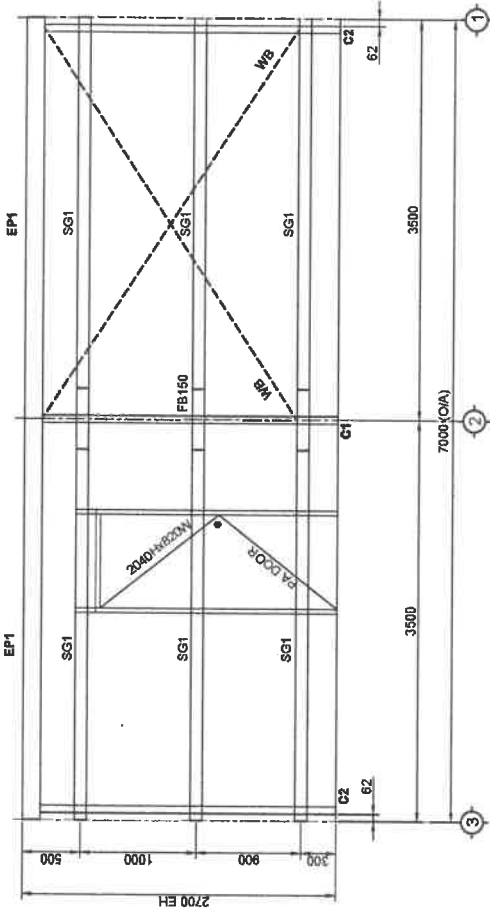


PROJECT: <b>Rob Beutel.</b>		TITLE: <b>SLAB &amp; FOOTING PLAN FOR A SHED 4.0M x 7.0M x 2.7M</b>		DRAWING NO. REV. <b>01 A</b>
SITE ADDRESS: <b>23 Finders Street Mundubbera, QLD 4626</b>		RBP CERTIFICATION: RPEQ 21642	SCALE: AS NOTED	DATE: 02 Mar 2023
DESIGNED: AK		DRAWN: PH	JOB NO.: BSTDG27406M	CHECKED: LK
NO. DATE CHECKED BY / DESCRIPTION		ISSUED FOR APPROVAL		
A 02 Mar 23 THG		REVISIONS		

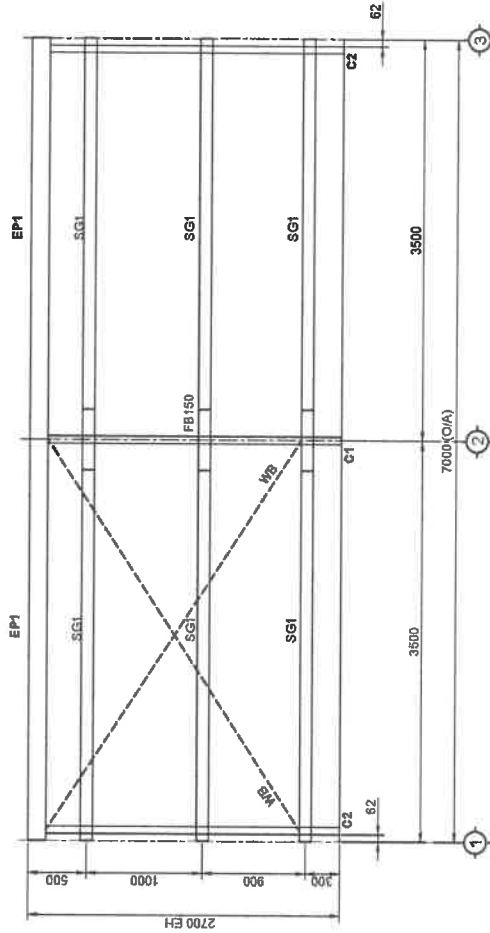
**ELEVATION FRAMING @GL. A**  
SCALE 1:40

**NOTES:**

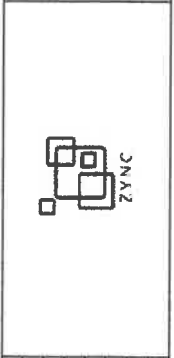
- GIRT SPACING IS 1000 CTS MAX.
- GIRTS LAPPED 500 AT SUPPORTS OR 15% OF THE BAY WIDTH.
- THE RA DOOR POSITION WILL BE DETERMINED ON SITE BY BUILDER.



**ELEVATION FRAMING @GL. B**  
SCALE 1:40

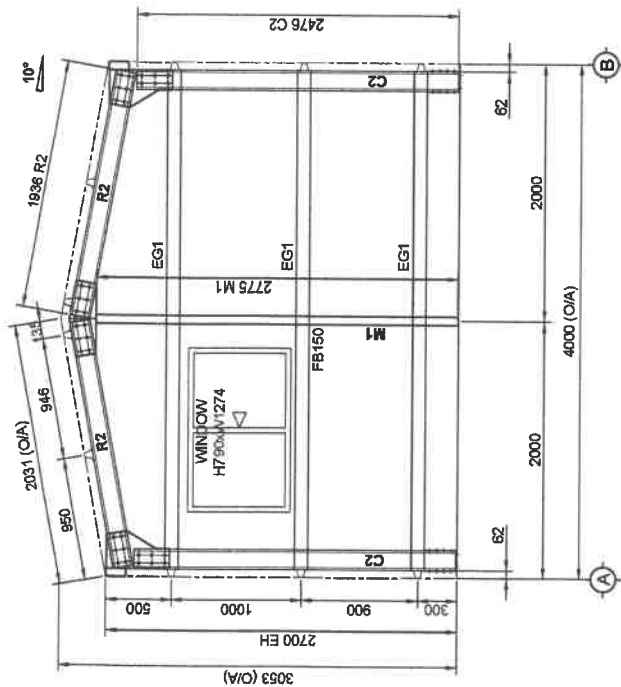


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NO.	DESCRIPTION
A	ISSUED FOR APPROVAL
02 Mar 23	THG
DATE	CHECKED BY

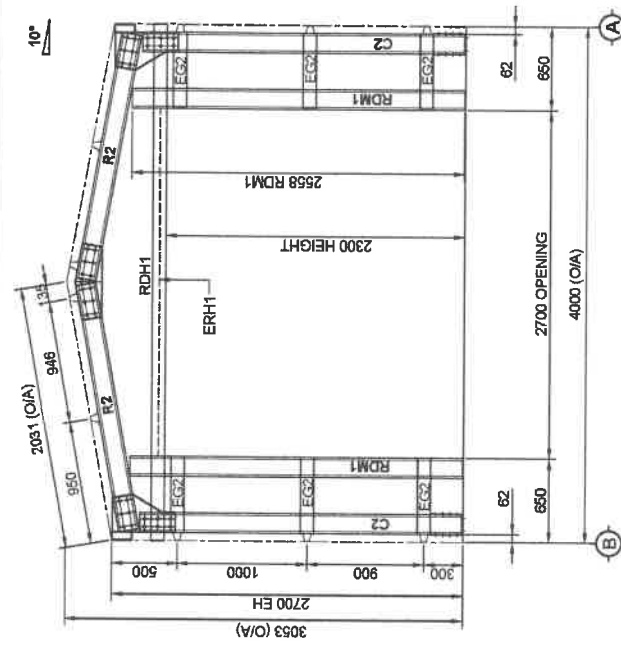


PROJECT: **Rob Beutel**  
 SITE ADDRESS:  
 23 Flinders Street  
 Mundubbera, QLD 4626

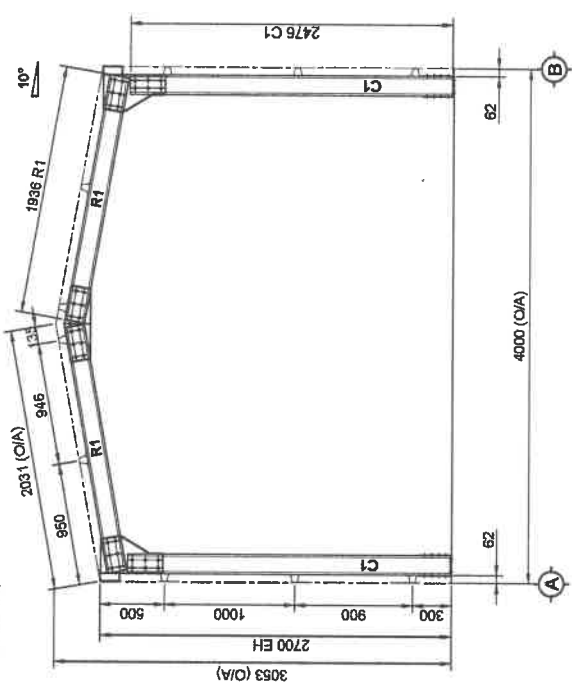
TITLE: <b>ELEVATIONS FRAMING FOR A SHED 4.0M x 7.0M x 2.7M</b>	
RBP CERTIFICATION: RPEQ 21642	DRAWING NO: REV.
DESIGNED: AK	SCALE: AS NOTED
DRAWN: PH	JOB NO: BSTDGZ7406M
CHECKED: LK	DATE: 02 Mar 2023
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	A



**ELEVATION FRAMING @ GL.1**  
SCALE 1:45



**ELEVATION FRAMING @ GL.3**  
SCALE 1:45

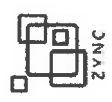


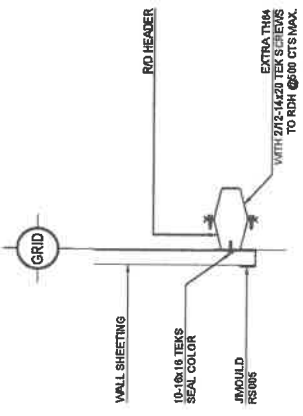
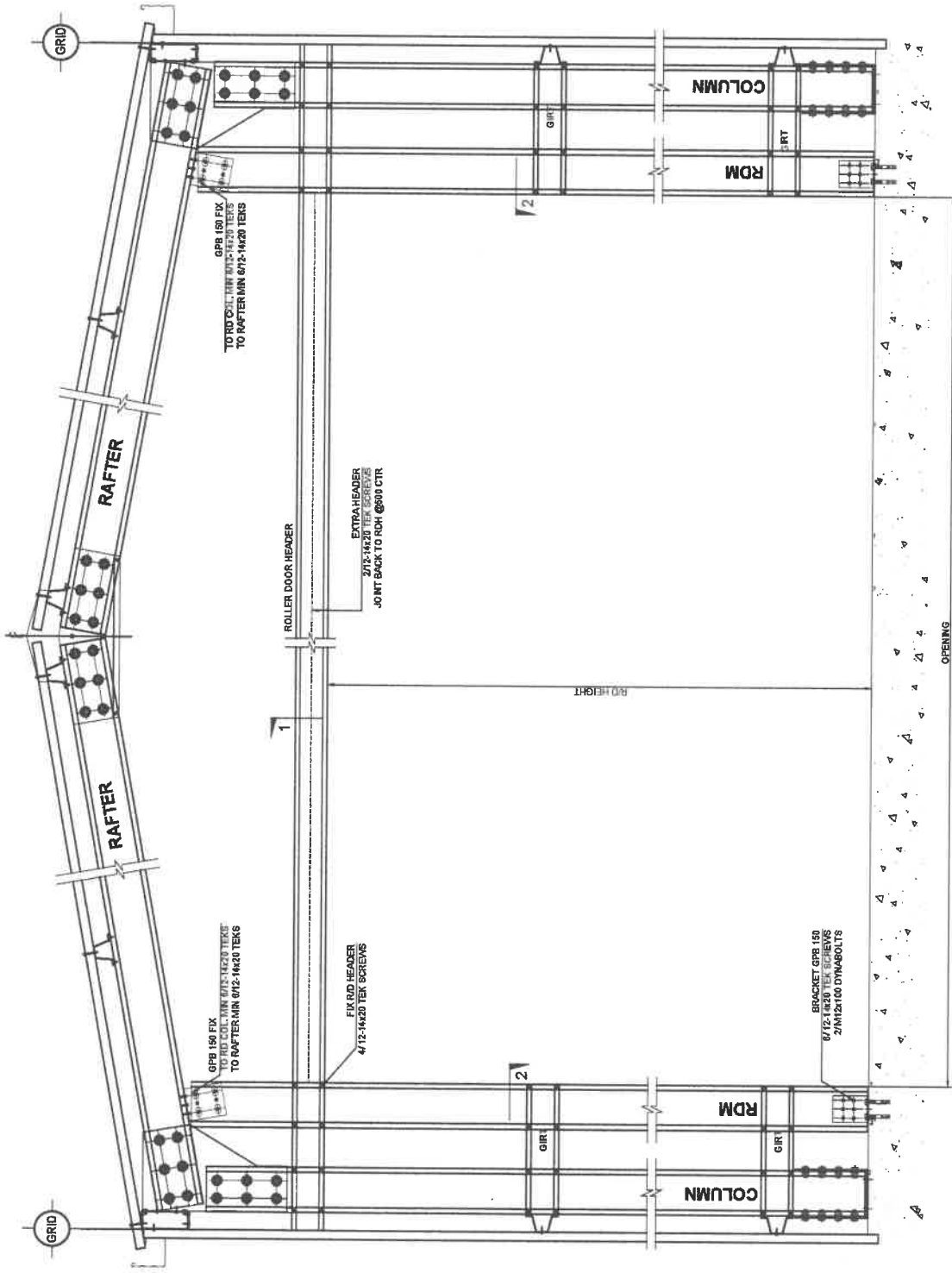
**ELEVATION FRAMING @ GL.2**  
SCALE 1:45

**NOTES:**

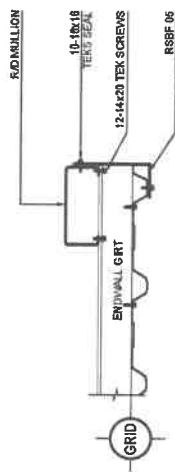
- GIRT SPACING IS 1000 CTS MAX.
- THE WINDOW POSITION WILL BE DETERMINED ON SITE BY BUILDER
- ROLLER DOOR HEAD HEIGHT WILL BE DETERMINED ON SITE BY BUILDER



PROJECT: <b>Rob Beutel</b>		TITLE: <b>ELEVATIONS FRAMING FOR A SHED 4.0M x 7.0M x 2.7M</b>	
		RBP CERTIFICATION: RPEQ 21642	DRAWING NO. REV. <b>07 A</b>
SITE ADDRESS: <b>23 Flinders Street Mandabbarra, QLD 4626</b>		DESIGNED: AK	SCALE: AS NOTED
PROJECT: <b>Rob Beutel</b>		DRAWN: PH	JOB NO: BSTDGZ7400M
		CHECKED: LK	DATE: 02 Mar 2023
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**DETAIL OF 1-1**  
SCALE: NTS



**DETAIL OF 2-2**  
SCALE: NTS



**TYPICAL END WALL ROLLER DOOR DETAIL**  
SCALE: NTS

PROJECT: <b>Rob Beutel</b>		TITLE: <b>CONNECTION DETAILS FOR A SHED 4.0M x 7.0M x 2.7M</b>	
SITE ADDRESS: <b>23 Flinders Street Mundubbera, QLD 4626</b>		R/P CERTIFICATION: RPE021642	DRAWING NO. REV.:
DESIGNED: AK		SCALE: AS NOTED	DRAWING NO. REV.:
DRAWN: PH		JOB NO.: BSTDG2406M	12
CHECKED: LK		DATE: 02 Mar 2023	A

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## **Attachment 4 – Planning Act 2016 Extract Appeal Rights**

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**Please refer to attached document or**

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

