

12 July 2023

Mailing Address: PO Box 390, Gayndah Qld 4625
Street Address: 34-36 Capper Street, Gayndah Qld 4625
Telephone: 1300 696 272
Facsimile: (07) 4161 1425
Email: admin@northburnett.qld.gov.au
Web: www.northburnett.qld.gov.au
ABN: 23 439 388 197

Your Reference:
Our Reference: DA230030

A Glagau
13 TARDENT STREET
BIGGENDEN QLD 4621

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

13 TARDENT STREET, BIGGENDEN
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 13 June 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name: Anne Glagau
Applicant contact details: 13 TARDENT STREET
BIGGENDEN QLD 4621
Email: mannywerner@hotmail.com
Phone: 0439139164
Mobile:

Site details

Street address: 13 TARDENT STREET, BIGGENDEN
Real property description: 17B44614

Application details

Application No: DA230030
Date of Decision: 12 July 2023
Proposed development: Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Secondary Dwelling
Concurrence Referral	Development Permit	Building over or near relevant infrastructure

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 3 Table 7 Building work over or near infrastructure relating to QDC Part 1.4
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Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that; Council has no requirements for the application.
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Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
Maney J35681 sheet 1 of 1 Revision: 1A	Site Plan by Biggenden Engineering	
Project 21024 Drawing 01-1 Revision A	Perspective by Adax Drafting Design Solutions	22/03/2022
Project 21024 Drawing 01-2 Revision A	Elevations and Floor Plan by Adax Drafting Design Solutions	22/03/2022
NBR-884 sheet 5 of 8	Proposed Floor Chassis & Footing Details by NBR	

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully



Mick Jarman
Planning and Environment Manager

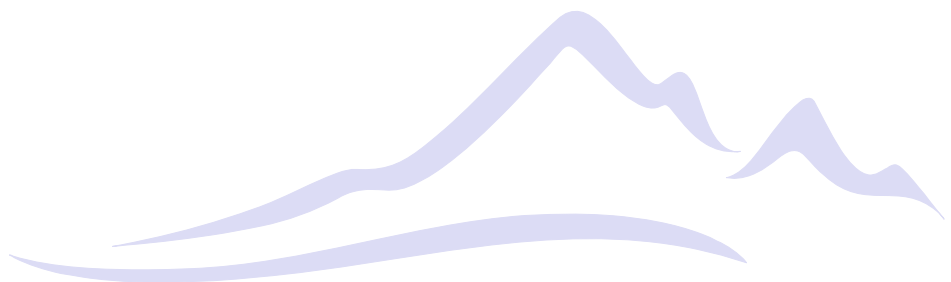
Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans

Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The approved secondary dwelling must be sited a minimum 1.5 metres from side and rear property boundary and 6 metres from Tardent Street, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved secondary dwelling must not exceed 60m ² .
4.	The roof height of the approved secondary dwelling must not exceed 5 metres measured from natural ground level.
5.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
6.	A CCTV survey inspection is to be performed of the existing sewer and stormwater mains through the property before commencement and upon completion of the works. The video footage and any defects are to be reported immediately to the North Burnett Regional Council after each survey inspection. The cost of the CCTV inspections are at the owner's expense.
7.	A copy of the CCTV inspection of the sewer main shall be provided to Council for assessment of the pipeline condition. If the condition of the pipeline is determined by Council to be less than 80% expected useful life, the main must be replaced or relined at the applicant's expense.
8.	All black and grey waters are to be connected to the existing house drain. No new connection to the sewer is to be made.
9.	The ramp shall remain fixed in a way that allows it to be removed easily if required and no pylons or slabs are to be used to support it.
Use	
10.	The approved secondary dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
11.	The approved secondary dwelling can be used for habitable purposes.
Landscaping	
12.	Establish landscaping for screening purposes along the elevations of the approved structure as amended in red by Council on the endorsed site plan. Landscaping must consist of a minimum of one (1) tree and/or shrub per three (3) lineal metres, growing to a minimum height of four (4) metres.
13.	Provide landscaping along the nearest side boundary to the approved structure to a standard adequate to screen the building from adjoining premises.
14.	Maintain the new landscaping on the site to the satisfaction of the Concurrence Agency
15.	The ground surface must be returned to a level state and must not contain trip hazards or excavations likely to be a safety risk.

Attachment 1B – Advice Notes

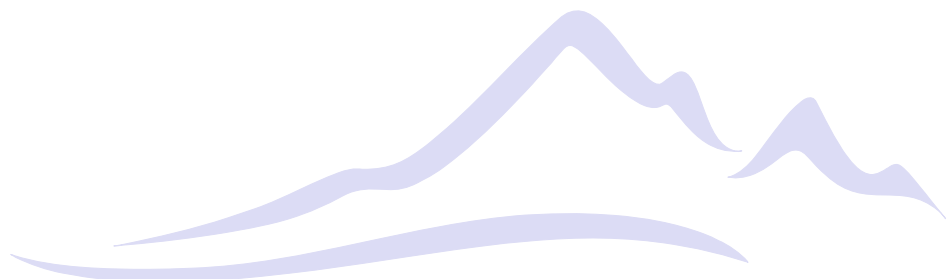
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

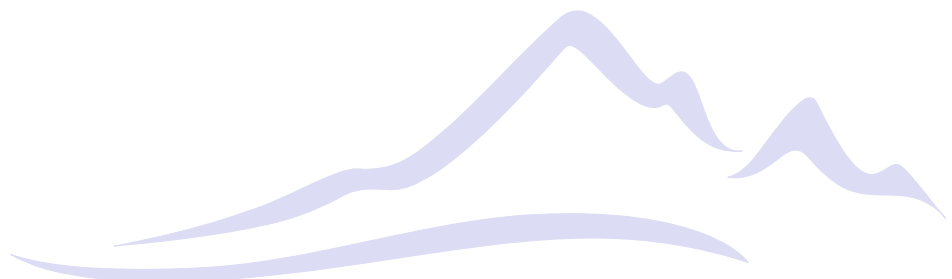
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.4
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.

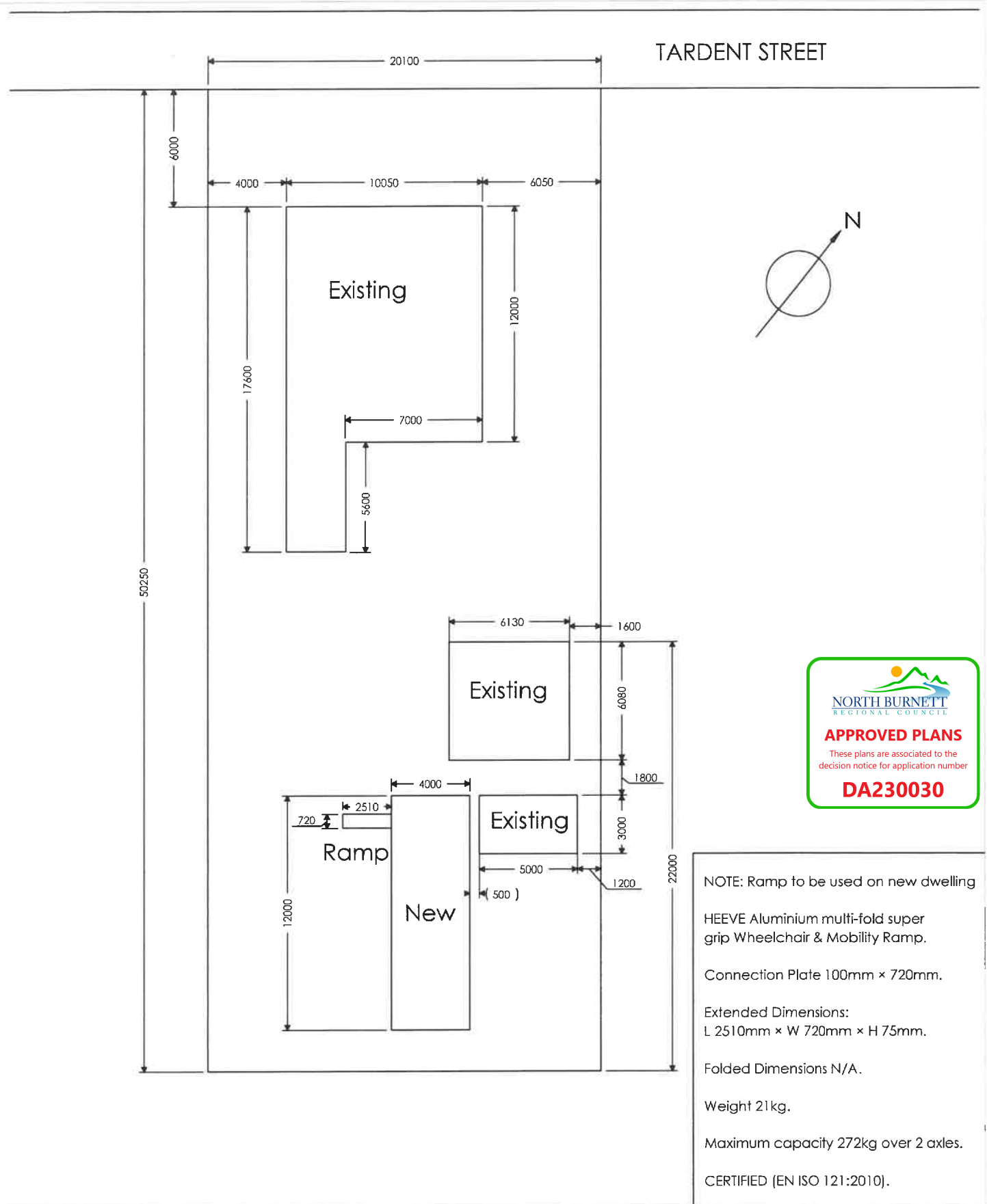


Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.





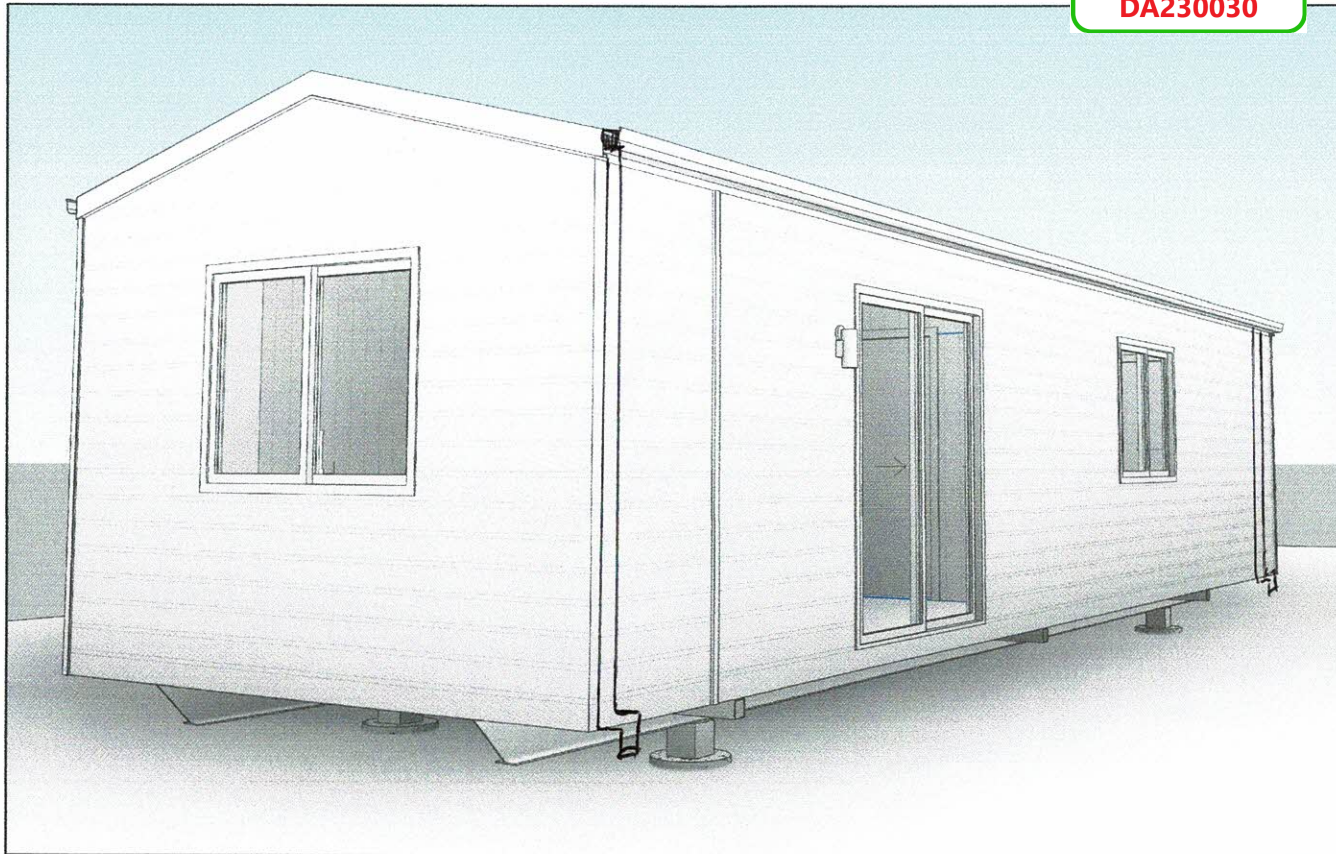
JOB # Maney J35681	Address: 13 Tarden St, Biggenden, QLD 4621	Town of Biggenden Parish of Degilbo County of Cook Lot: 17 B.446.14.
	<div> COPYRIGHT © 2021 - CONTENTS OF THIS DRAWING REMAINS THE PROPERTY OF DARBEN ENTERPRISES PTY LTD. THE CONTENTS OF THIS DOCUMENT IS CONFIDENTIAL & MAY NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART UNLESS PREVIOUSLY AUTHORISED "IN WRITING" BY MANAGEMENT. </div> <div> SHEET 1 OF 1 REVISION : 1A </div>	



APPROVED PLANS

These plans are associated to the decision notice for application number

DA230030



PERSPECTIVE

Note:

Building PAD Levels To Be Determined By Builder & Must Comply With Minimum Habitable Floor Levels Subject To Local Authorities Requirements

Notes:

SITE WORKS

All sites to be contained fully within allotment boundaries. All cut and fill batter slopes must comply with NCC Table 3.1.1.1. All site works must be completed at time of final inspection. Maximum cut and fill batters to be 1000mm above natural ground level.

SURFACE WATER DRAINAGE AROUND BUILDING

The external finished ground levels surrounding the slab must be graded to a slope of not less than 50mm over the first 1000mm from the building in accordance with NCC Figure 3.1.3.2.

EASEMENTS

No building work is permitted inside any easement without written consent from owner easement.

OWNER (Applicant) is to identify exact location AND extent of any easement onsite prior to commencement any building work.

EXISTING COUNCIL SERVICES

All building work is to be located a minimum of 1.5m from existing council service. OWNER (Applicant) is to identify exact location of service onsite prior to commencement of any building work.

SUB-FLOOR VENTILATION

The sub-floor space beneath the suspended floor of a building must be designed and constructed in accordance with NCC Part 3.4.1.2.

TERMITE CONTROL

The termite management system is to comply with NCC Part 3.14 and AS3660. Certification to be provided to Certifier prior to issue of final statement.

CONSTRUCTION OF SANITARY COMPARTMENTS

Sanitary facility to comply with NCC Housing Provisions Part 3.8.3.3. The door to a fully enclosed sanitary compartment must: open outwards, slide or be readily removable from the outside of the compartment, unless there is a clear space of at least 1.2m between the closet pan within the sanitary compartment and the nearest part of the doorway.

Natural ventilation must be provided to sanitary compartments must be provided by either permanent openings (5% of floor area of room) opening to space open to the sky. Where natural ventilation is unable to be achieved mechanical ventilation is to be provided in accordance with AS1668.2. Certification to be provided to the Certifier prior to finalising the approval.

MECHANICAL VENTILATION

Mechanical ventilation must be installed to the internal rooms as noted on the approved plans in accordance with NCC Housing Provisions Part 3.8.5. and AS 1668 Part's 1 & 2. An exhaust fan or other means of mechanical ventilation may be used to ventilate a sanitary compartment, laundry or bathroom provided contaminated air exhausts -

- directly to outside the building by way of ducts; or
- into a roof space that -
 - is adequately ventilated by open eaves, and/or roof vents; or
 - is covered by roof tiles without sarking or similar materials which would prevent venting through gaps between the tiles is covered by roof tiles without sarking or similar materials which would prevent venting through gaps between the tiles.

WATERPROOFING WET AREA

Wet areas within the building must be waterproof or water resistant in accordance with NCC Vol 2 Part 3.8.1 and complying with AS3740 and installed by a QBCC licensed installer.

STORMWATER DISCHARGE

Stormwater must be designed and installed in accordance with the NCC Vol.2 Part 3.1.3. All stormwater is to be discharged to a legal point of discharge as identified. In any case roofwater shall not cause nuisance to adjoining properties or the existing buildings on site. Roofwater discharge for collection of portable water prohibits lead gutters, downpipes and flashings on any roof. Stormwater drainage and discharge must be completed in accordance with NCC Housing provisions Clauses 3.1.3 & 3.5.3.

GUTTERS AND DOWNPIPES

Gutters and downpipes must be constructed and installed in accordance with NCC Vol. 2 Part 3.5.3. and comply with AS/NZS3500.2 or AS/NZS3500.5 (Part 5). Downpipes must not be more than 12m apart and fixed as close as possible to valley gutters. Where downpipes are more than 1.2m from the valley provision for overflow must be made.

GLAZING

All glazing in buildings must comply with the requirements of NCC Housing Provisions 3.6 and AS1288 (As amended).

SMOKE ALARMS

Smoke alarms must comply with the requirements of NCC Housing Provisions Part 3.7.5, AS3786 (As amended) and the Building Regulation 2006 and be connected to consumer mains power.

Photoelectric smoke alarms must be installed in all bedrooms, as well as hallways servicing bedrooms, between areas containing bedrooms, and on any other storey of the dwelling and be interconnected.

SUSTAINABLE HOUSING MEASURES

Building work to be constructed in accordance with the requirements of Queensland Development Code MP4.1.

Certification to be provided to certifier prior to issue of final certificate.

Energy efficient fixtures - buildings to have energy efficient lighting for a minimum of 80% of total fixed internal artificial lighting. New air-conditioners to have an EER of at least 2.9.

Water conservation - All shower roses to have a minimum 3-star Water Efficiency Labelling and Standards rating.

All toilet cisterns to have a dual flush function and minimum 4-star Water Efficiency Labelling and Standards rating and are compatible with the size of the bowl to allow for proper functioning of the toilet.

Tap-ware has a minimum 3-star Water Efficiency Labelling and Standards rating for taps serving laundry tubs, kitchen sinks and basins.

ENERGY EFFICIENCY

This approval must comply with the requirements of NCC 3.12 Energy Efficiency.



QBCC: 15254731
ABN: 30 639 990 739
Address:
8, 14 Duke Street,
Stocks Creek
www.adoxdrafting.com.au

Site

Working Drawings
Cover Sheet & Notes
Client

Scale	Date	House:
	22/03/22	Facade:
Project No.	Drawing No.	Rev.
21024	01-1	-A

issue	date	amendment
A	22/03/22	For Approval

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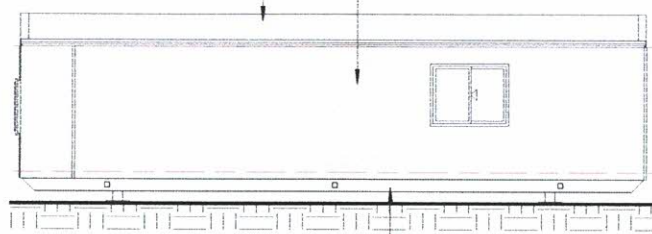
Colorbond Roof Sheetting With
60mm Anticon Bonded Blanket

STRAIGHT METAL CLADDING
Direct Fixed To Frame With R1.5 Wall
Insulation Batts

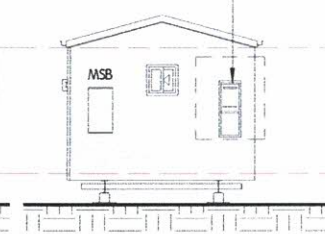
GAS Instantaneous Hot Water System

10mm Water Discharge

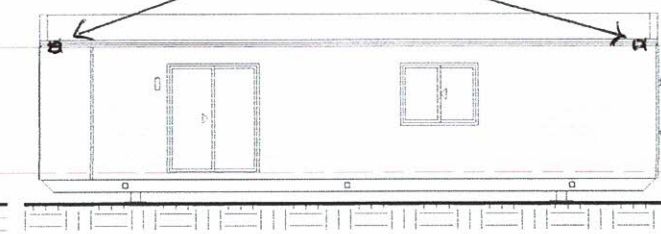
ELEVATION B



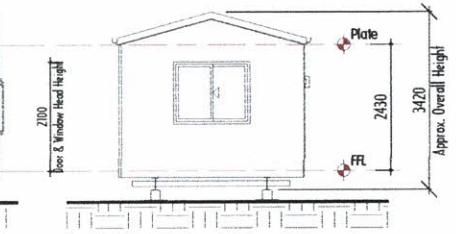
ELEVATION B (NORTH)



ELEVATION C (EAST)

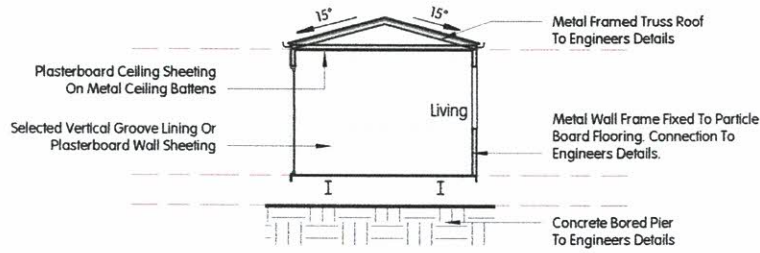


ELEVATION D (SOUTH)



ELEVATION A (WEST)

UB Floor Bearer As Per
Engineers Details



SECTION
A 01-2
1:100 @ A3

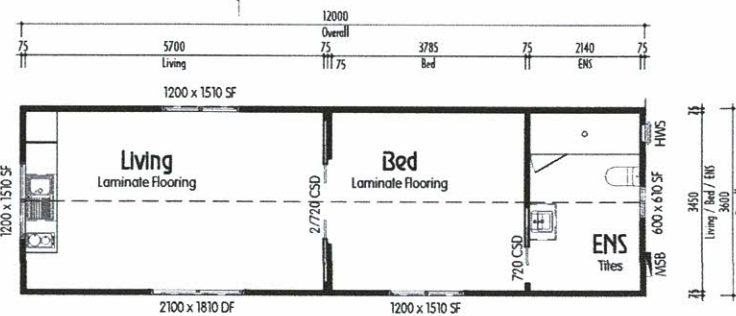
Legend

	Ceiling Fan		Light Switch - Various Gang Sets
	Data Socket		2 - Two Way
	Exhaust Fan		D - Dimmer
	Fan / Light Combination		Meter Box
	Heater Globe / Fan / Light Combination		Power Point - Double
	Light Point - LED (Double Batten)		Power Point - Single
	Light Point - LED (Recessed)		Power Point - Double GPO - Weatherproof
	Light Point - Wall Mount		Power Point - Single GPO - Weatherproof
	Light Point - Flood Light		Smoke Alarm
			Telephone Socket
			Television Socket

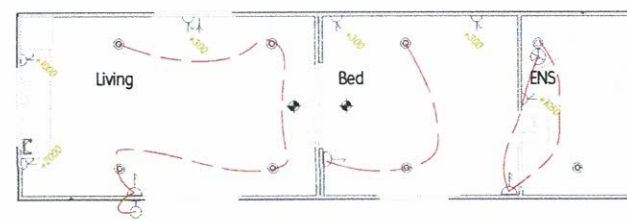
Notes:
1. All Light Switches Located @ 1100mm Above FFL
Unless Otherwise Noted
2. 1x TV Antenna Fitted To External Roof

Electrical Quantities

Item	No.
Exhaust Fan	1
Light - LED (Recessed)	8
Light - Wall Mount (Bunker)	1
Light Switch	3
Power Point - Double	6
Smoke Alarm	2
Television Socket	1



Floor Areas:
Living: 36.0m ²
Total: 36.0m ²



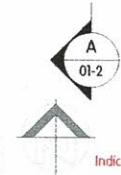
ELECTRICAL PLAN

ELEVATION A

ELEVATION C

FLOOR PLAN

SCALE 1:100 @ A3



Indicative (Subject To Site Position)

ELEVATION D

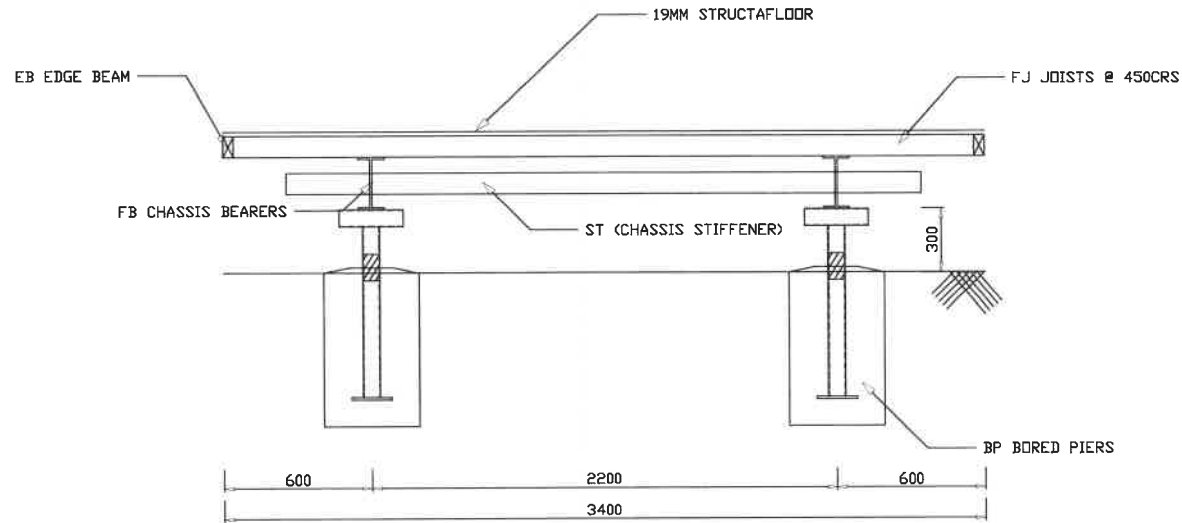
ADAX DRAFTING DESIGN SOLUTIONS		QBCC: 15254731 ABN: 30 639 990 739 Address: 8, 14 Duke Street, Slacks Creek www.adaxdrafting.com.au	Working Drawings Portable Building - Type 4 Arrangement Client	Scale 1:100 @ A3	Date 22/03/22	House: Facade:
A 22/03/22 issue date	For Approval amendment	Site	Project No. 21024	Drawing No. 01-2	Rev. -A	© COPYRIGHT. REPRODUCTION FORBIDDEN IN WHOLE OR IN PART.



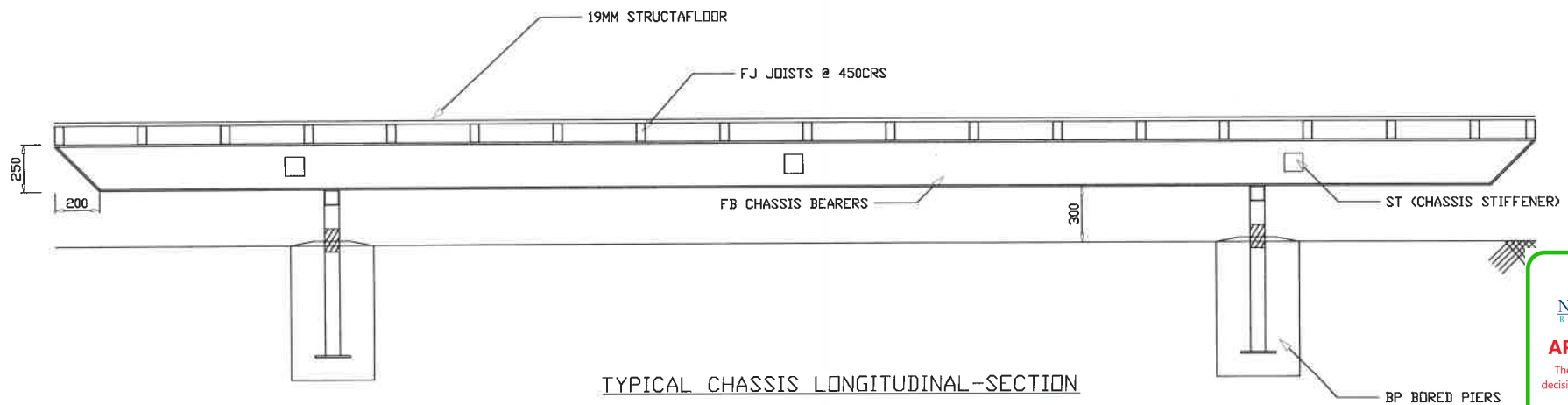
APPROVED PLANS

These plans are associated to the
decision notice for application number

DA230030



TYPICAL CHASSIS CROSS-SECTION



TYPICAL CHASSIS LONGITUDINAL-SECTION

PROPOSED FLOOR CHASSIS & FOOTING DETAILS



Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

