

2 August 2023

Graham William Ashcroft
9 Sunrise Street
DEGILBO QLD 4621

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

9 SUNRISE STREET, DEGILBO

(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 12 June 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	Graham William Ashcroft
Applicant contact details:	9 Sunrise Street DEGILBO QLD 4621
Email:	willyashena@outlook.com
Phone:	
Mobile:	0439 468 806

Site details

Street address:	9 SUNRISE STREET, DEGILBO
Real property description:	909D4704

Application details

Application No:	DA230031
Date of Decision	2 August 2023
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Dwelling

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact
------------------	---

Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that; The development approval must be subject to stated development conditions set out in <u>Attachment 1</u> .
-------------------	---

Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
42582 Drawing 2	Aerial Photo and street view By The SoilTesters	07/06/2023
42582 Drawing 3	Proposed site plan by The SoilTesters	07/06/2023
42582 Drawing 4	Elevation photos by The SoilTesters	07/06/2023
42582 Drawing 5	Floor plan by The SoilTesters	07/06/2023
42582 Drawing 6	Frame and Structural Layout by The SoilTesters	07/06/2023

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully

for 

Kim Mahoney

General Manager – Corporate and Community

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans

Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The approved dwelling must be sited a minimum three (3) metres from the southern side boundary, twelve (12) metres from the rear property boundary and 24 metres from the front Sunrise Street property boundary, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved dwelling must not exceed 55m ² .
4.	The overall height of the approved dwelling must not exceed five (5) metres measured from natural ground level.
5.	Any earthworks required for the development must be undertaken in such a way as to ensure that the height of the building complies with condition 4.
6.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
Use	
7.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
Landscaping	
8.	Establish landscaping for screening purposes along the elevations of the approved structure as amended in red by Council on the endorsed site plan. Landscaping must consist of a minimum of one (1) tree and/or shrub per three (3) lineal metres, growing to a minimum height of four (4) metres.
9.	Provide landscaping along the nearest side boundary to the approved structure to a standard adequate to screen the building from adjoining premises.
10.	Maintain the new landscaping on the site to the satisfaction of the Concurrence Agency

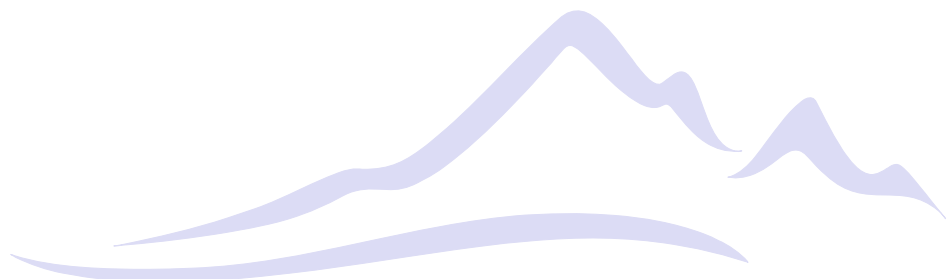
Attachment 1B – Advice Notes

A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Prior to any alteration or modification of a building, it is recommended that an inspection be undertaken of the resite/removal dwelling or building by a qualified person/s to determine the existence of Asbestos Cement Material (ACM), Asbestos Cement Products (ACP) or any other material not deemed as an acceptable construction material as defined in the Australian Standards or the Building Code of Australia.

Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

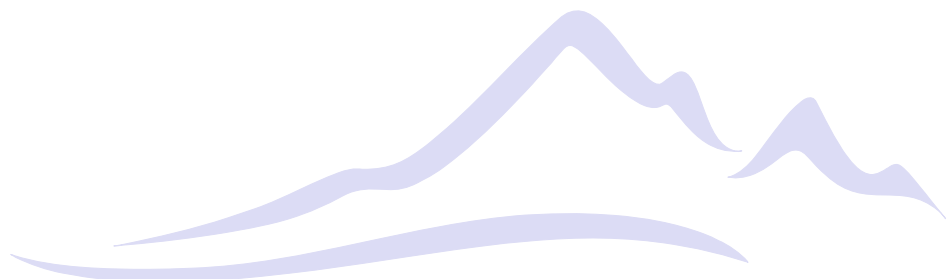
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- To ensure that the development is carried out in accordance with the Amenity and Aesthetics Policy adopted by the North Burnett Regional Council on 4 November 2016.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.

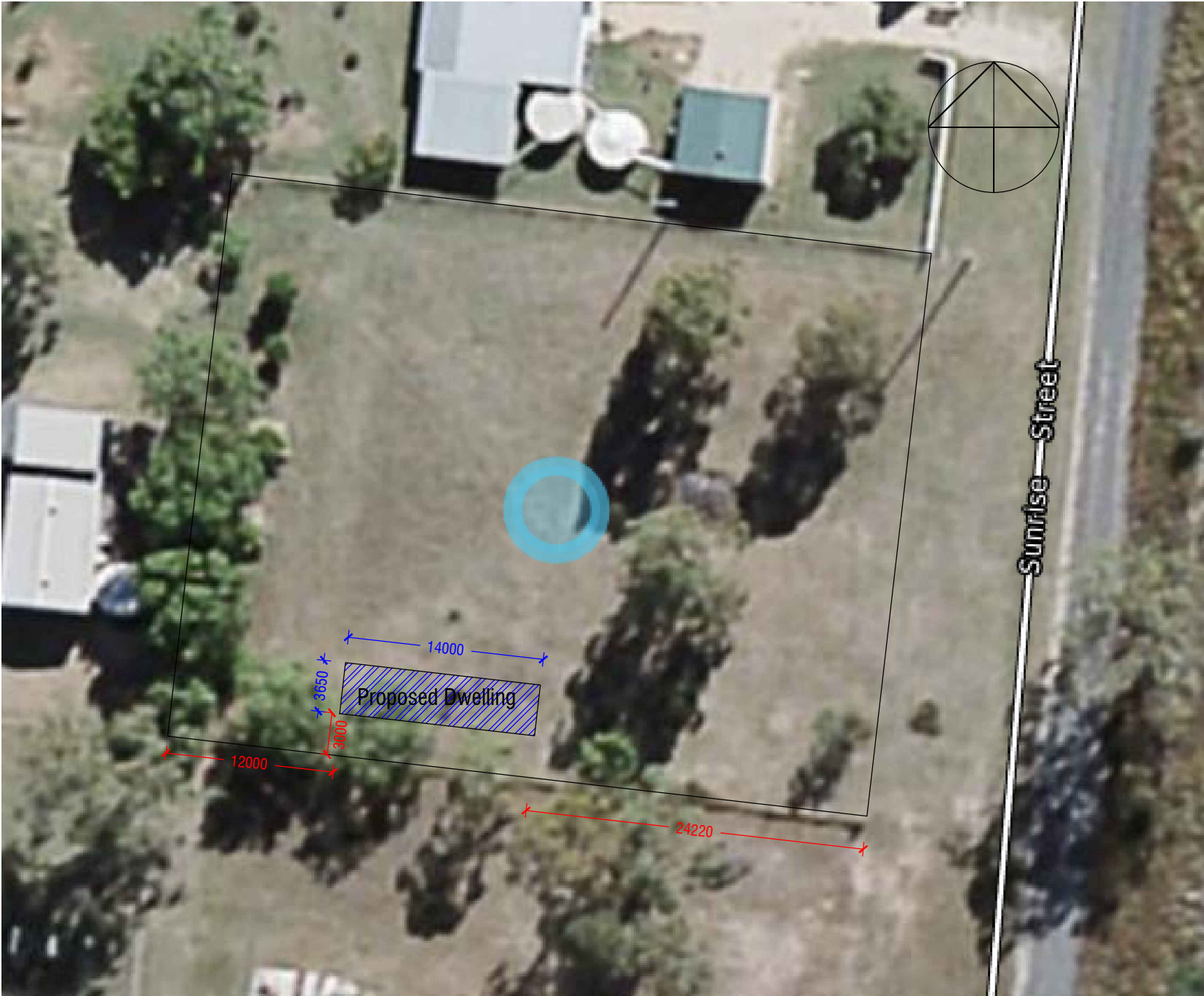


Attachment 3 – Approved Plans

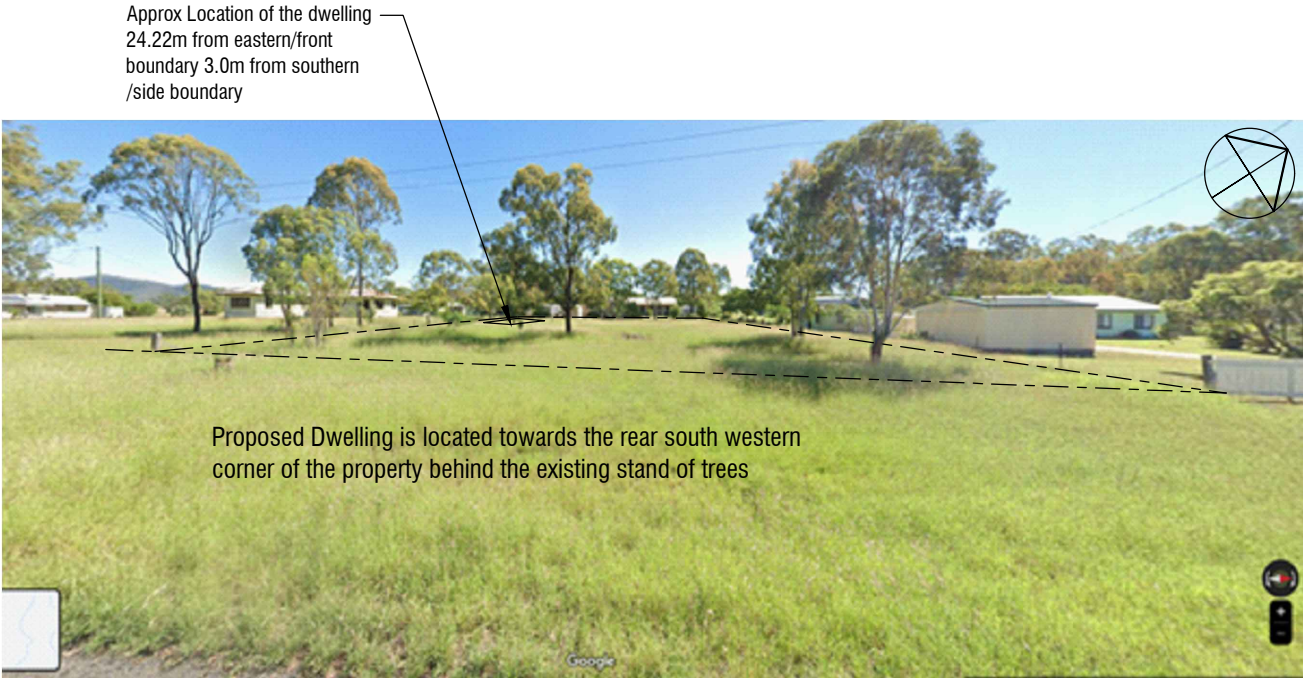
Intentionally left blank

Please refer to the following pages for approved plans.





Aerial View of Property & Propsed Location of Dwelling
Scale 1:400



STREET VIEW
nts

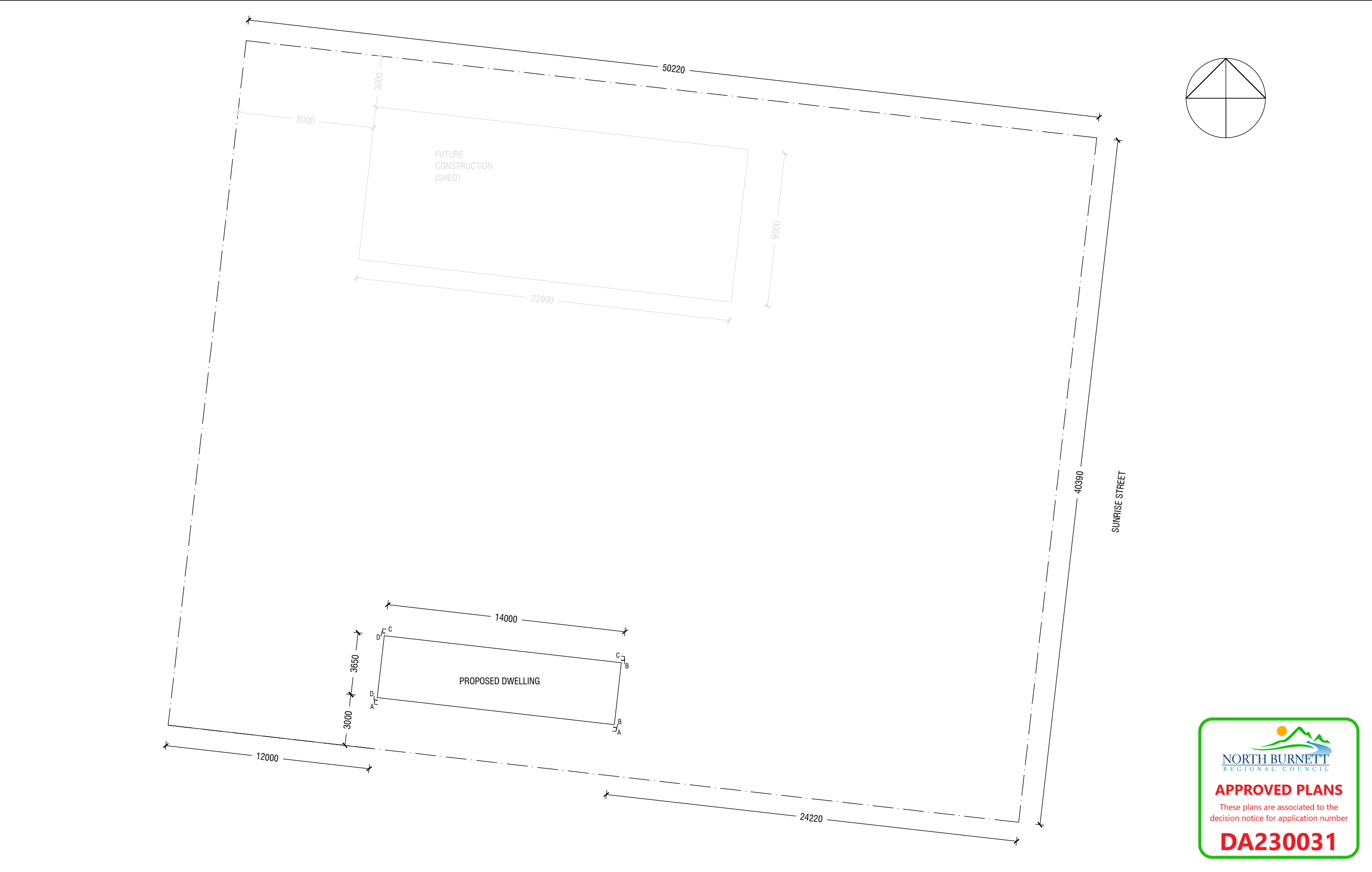


APPROVED PLANS

These plans are associated to the
decision notice for application number

DA230031

<div>Hackworth & Assoc Pty. Ltd.</div> <div>Trading as</div> <div>The SoilTesters</div> <div>Plan By : Steven Hackworth - RPEQ 9411</div> <div>P.O. Box 3400 Darra 4076</div> <div>Address: Unit 2 / 42 Clinker Street, Darra 4076</div> <div>Email: steven@thesoiltesters.com.au Ph: (07) 3376 9988</div>	<div>Note:</div> <div>These plans are designed in accordance with and all workmanship, materials and construction shall comply with the Building Code of Australia, the Queensland Building Act and all relevant current Australian Standards.</div> <div>Construction only to commence with the appropriate building approvals issued.</div> <div>Building dimensions, specifications, conditions and materials indicative only, owner/contractor to confirm before commencement.</div> <div>All dimensions are in millimetres unless noted otherwise with written dimensions take preference to scaled dimensions and are to the structure finish.</div> <div>Refer all discrepancies to designer before commencing work (if in doubt ask).</div>	<div>Plans By :</div> <div>Steven Hackworth - RPEQ 9411</div> <div></div>	<table><tr><th>Issue</th><th>Date</th><th>Comment</th></tr><tr><td>A</td><td>27/01/2023</td><td>Amendment Connection</td></tr><tr><td>B</td><td>27/03/2023</td><td>Amendment additional detail</td></tr><tr><td>C</td><td>07/06/2023</td><td>Construction</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>	Issue	Date	Comment	A	27/01/2023	Amendment Connection	B	27/03/2023	Amendment additional detail	C	07/06/2023	Construction																			<div>Client:</div> <div>Graham & Ena Aschcroft</div> <div>Project Address:</div> <div>9 Sunrise Street</div> <div>Degilbo, QLD 4621</div>	<div>Project:</div> <div>Transportable Dwelling</div> <div>Project Number:</div> <div>42582</div> <div>Drawing Set:</div> <div>Engineering</div>	<div>Drawing:</div> <div>Aerial Photo/Street View</div> <div>Drawing Number:</div> <div>2</div> <div>Drawing Scale:</div> <div>Print Size:</div> <div>A3 Print</div>
Issue	Date	Comment																																		
A	27/01/2023	Amendment Connection																																		
B	27/03/2023	Amendment additional detail																																		
C	07/06/2023	Construction																																		



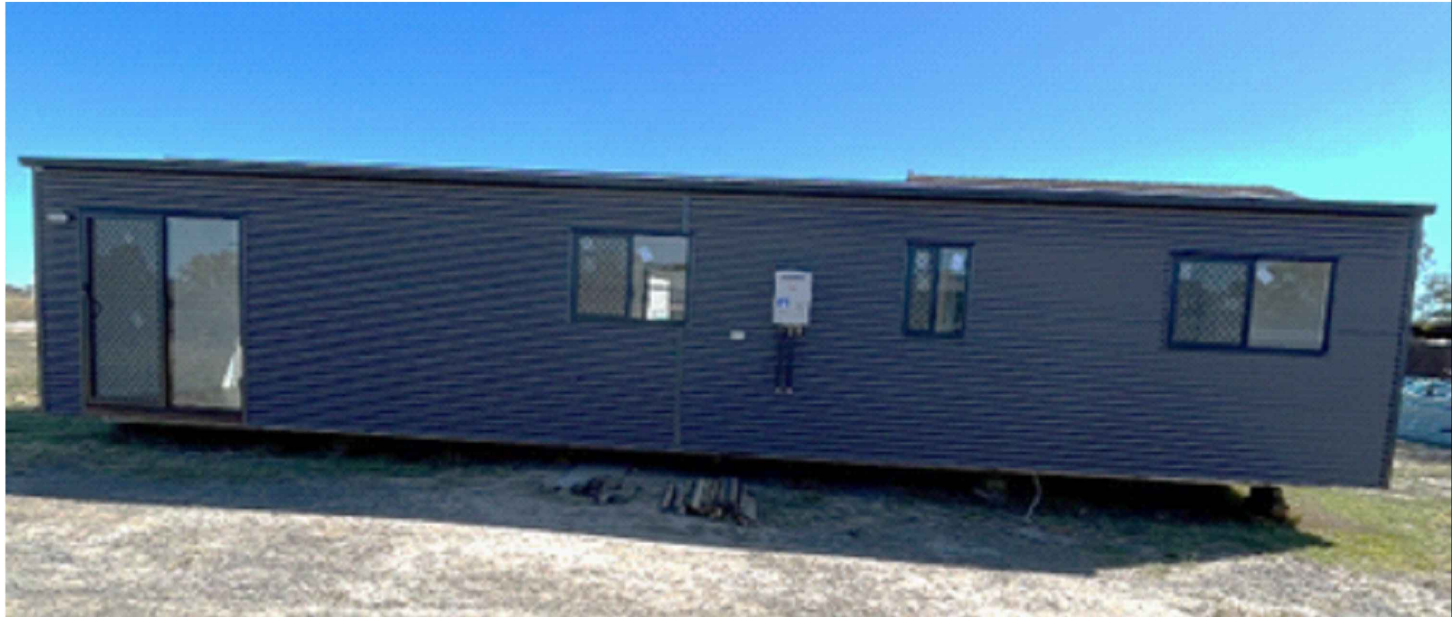


APPROVED PLANS

These plans are associated to the decision notice for application number

DA230031

<div>Hackworth & Assoc Pty. Ltd.</div> <div>Trading as</div> <div>The SoilTesters</div> <div>Plan By : Steven Hackworth - RPEQ 9411</div> <div>P.O. Box 3400 Darra 4076</div> <div>Address: Unit 2 / 42 Clinker Street, Darra 4076</div> <div>Email: steven@thesoiltesters.com.au Ph: (07) 3376 9988</div>	<div>Note:</div> <div>These plans are designed in accordance with and all workmanship, materials and construction shall comply with the Building Code of Australia, the Queensland Building Act and all relevant current Australian Standards.</div> <div>Construction only to commence with the appropriate building approvals issued.</div> <div>Building dimensions, specifications, conditions and materials indicative only, owner/contractor to confirm before commencement.</div> <div>All dimensions are in millimetres unless noted otherwise with written dimensions take preference to scaled dimensions and are to the structure finish.</div> <div>Refer all discrepancies to designer before commencing work (if in doubt ask).</div>	<div>Plans By :</div> <div>Steven Hackworth - RPEQ 9411</div> <div></div>	<table><tr><th>Issue</th><th>Date</th><th>Comment</th></tr><tr><td>A</td><td>27/01/2023</td><td>Amendment Connection</td></tr><tr><td>B</td><td>27/03/2023</td><td>Amendment additional detail</td></tr><tr><td>C</td><td>07/06/2023</td><td>Construction</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Issue	Date	Comment	A	27/01/2023	Amendment Connection	B	27/03/2023	Amendment additional detail	C	07/06/2023	Construction																<div>Client:</div> <div>Graham & Ena Aschcroft</div> <div>Project Address:</div> <div>9 Sunrise Street</div> <div>Degilbo, QLD 4621</div>	<div>Project:</div> <div>Transportable Dwelling</div> <div>Project Number:</div> <div>42582</div> <div>Drawing Set:</div> <div>Engineering</div>	<div>Drawing:</div> <div>Proposed Site Plan</div> <div>Drawing Number:</div> <div>3</div> <div>Drawing Scale:</div> <div>1 : 200</div> <div>Print Size:</div> <div>A3 Print</div>
Issue	Date	Comment																															
A	27/01/2023	Amendment Connection																															
B	27/03/2023	Amendment additional detail																															
C	07/06/2023	Construction																															



Elevation A-A



Elevation D-D

- 75x4 SHS duragall Stumps
- B1 bearers 150x50x4 RHS painted corrosion protection, proprietary product.
- J1 Joist 100x50x3 RHS max crs 600 painted corrosion protection, proprietary product
- Connection J1 to B1 Welded 4 cfw
- 90mm Steel Frame Construction.
- Gyprock internal cladding.
- Wall & Ceiling Insulation.
- Colorbond Profile Horizontal External Wall Cladding.
- Colorbond Roof Sheetting.
- Colorbond Barge Capping and guttering.



APPROVED PLANS

These plans are associated to the decision notice for application number

DA230031



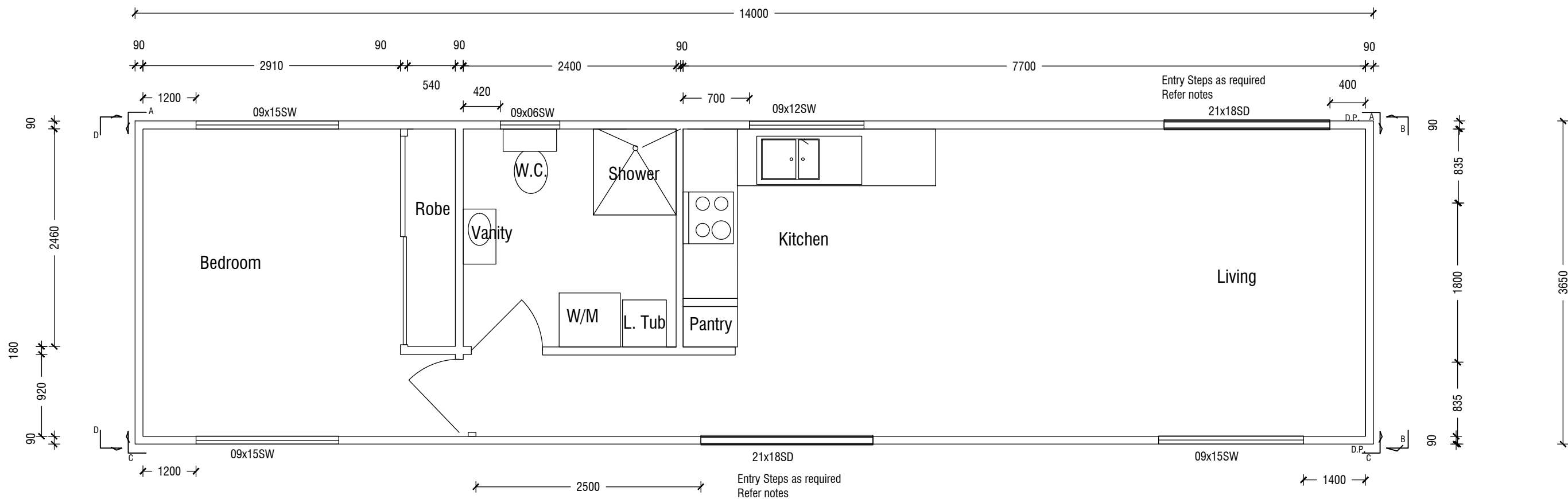
Elevation C-C



Elevation B-B

Photos of the transportable home currently located at Manufacturers Workshop.

<div>Hackworth & Assoc Pty. Ltd.</div> <div>Trading as</div> <div>The SoilTesters</div> <div>Plan By : Steven Hackworth - RPEQ 9411</div> <div>P.O. Box 3400 Darra 4076</div> <div>Address: Unit 2 / 42 Clinker Street, Darra 4076</div> <div>Email: steven@thesoiltesters.com.au Ph: (07) 3376 9988</div>		<div>Note:</div> <div>These plans are designed in accordance with and all workmanship, materials and construction shall comply with the Building Code of Australia, the Queensland Building Act and all relevant current Australian Standards.</div>		<div>Construction only to commence with the appropriate building approvals issued.</div> <div>Building dimensions, specifications, conditions and materials indicative only, owner/contractor to confirm before commencement.</div>		<div>All dimensions are in millimetres unless noted otherwise with written dimensions take preference to scaled dimensions and are to the structure finish.</div> <div>Refer all discrepancies to designer before commencing work (if in doubt ask).</div>		<div>Plans By :</div> <div>Steven Hackworth - RPEQ 9411</div> <div></div>		<table><tr><th>Issue</th><th>Date</th><th>Comment</th></tr><tr><td>A</td><td>27/01/2023</td><td>Amendment Connection</td></tr><tr><td>B</td><td>27/03/2023</td><td>Amendment additional detail</td></tr><tr><td>C</td><td>07/06/2023</td><td>Construction</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>		Issue	Date	Comment	A	27/01/2023	Amendment Connection	B	27/03/2023	Amendment additional detail	C	07/06/2023	Construction																			<div>Client:</div> <div>Graham & Ena Aschcroft</div> <div>Project Address:</div> <div>9 Sunrise Street</div> <div>Degilbo, QLD 4621</div>		<div>Project:</div> <div>Transportable Dwelling</div> <div>Project Number:</div> <div>42582</div> <div>Drawing Set:</div> <div>Engineering</div>		<div>Drawing:</div> <div>Elevation Photos</div> <div>Drawing Number:</div> <div>4</div> <div>Drawing Scale:</div> <div>Print Size:</div> <div>A3 Print</div>	
Issue	Date	Comment																																													
A	27/01/2023	Amendment Connection																																													
B	27/03/2023	Amendment additional detail																																													
C	07/06/2023	Construction																																													



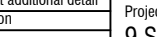
FLOOR PLAN
Scale 1:50

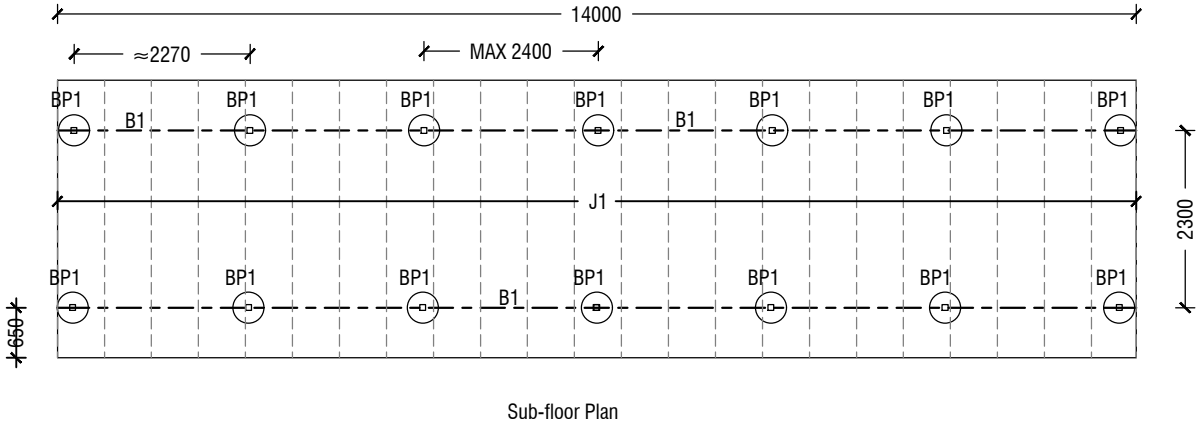
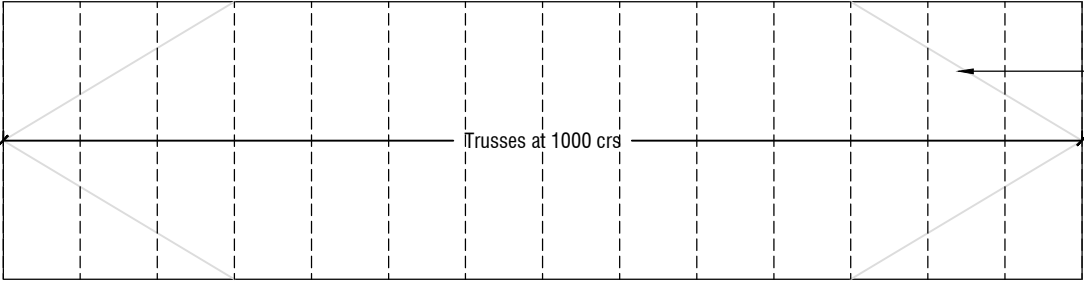
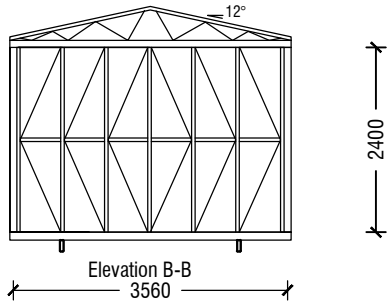
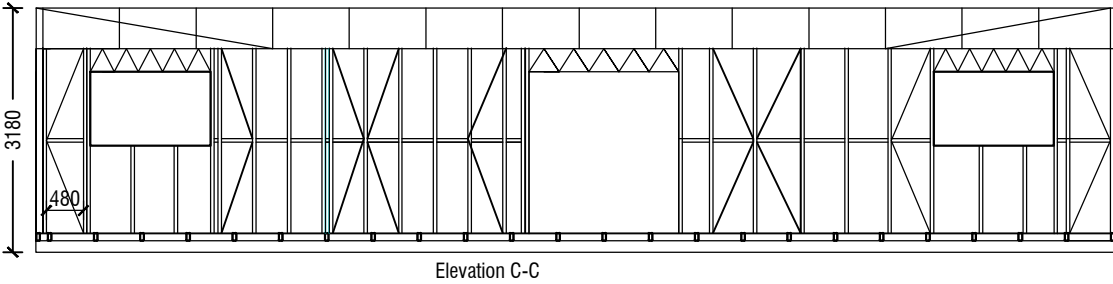
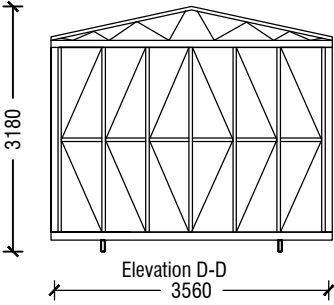
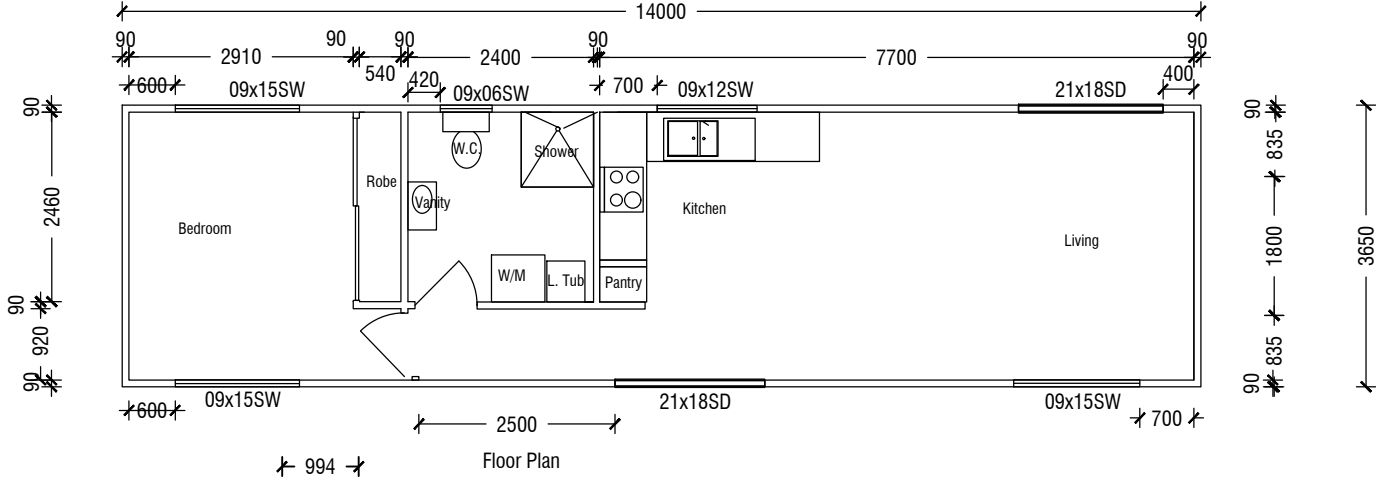
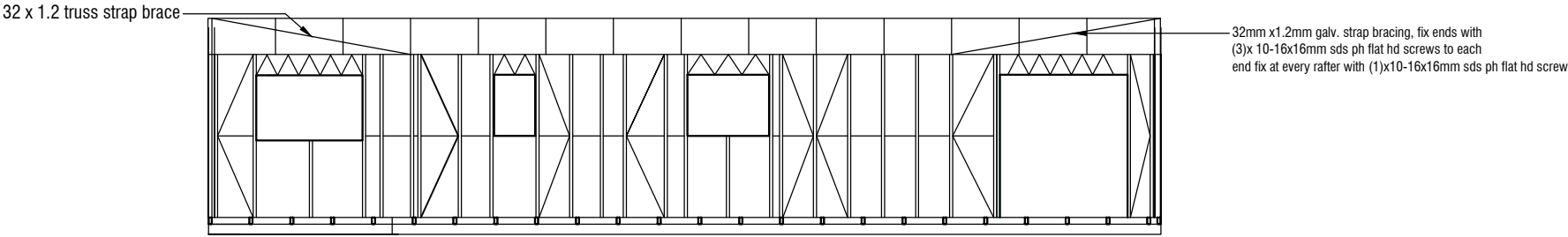


APPROVED PLANS

These plans are associated to the decision notice for application number

DA230031

<div>Hackworth & Assoc Pty. Ltd.</div> <div>Trading as</div> <div>The SoilTesters</div> <div>Plan By : Steven Hackworth - RPEQ 9411</div> <div>P.O. Box 3400 Darra 4076</div> <div>Address: Unit 2 / 42 Clinker Street, Darra 4076</div> <div>Email: steven@thesoiltesters.com.au Ph: (07) 3376 9988</div>	<div>Note:</div> <div>These plans are designed in accordance with and all workmanship, materials and construction shall comply with the Building Code of Australia, the Queensland Building Act and all relevant current Australian Standards.</div> <div>Construction only to commence with the appropriate building approvals issued.</div> <div>Building dimensions, specifications, conditions and materials indicative only, owner/contractor to confirm before commencement.</div> <div>All dimensions are in millimetres unless noted otherwise with written dimensions take preference to scaled dimensions and are to the structure finish.</div> <div>Refer all discrepancies to designer before commencing work (if in doubt ask).</div>	<div>Plans By :</div> <div>Steven Hackworth - RPEQ 9411</div> <div></div>	<table><tr><th>Issue</th><th>Date</th><th>Comment</th></tr><tr><td>A</td><td>27/01/2023</td><td>Amendment Connection</td></tr><tr><td>B</td><td>27/03/2023</td><td>Amendment additional detail</td></tr><tr><td>C</td><td>07/06/2023</td><td>Construction</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Issue	Date	Comment	A	27/01/2023	Amendment Connection	B	27/03/2023	Amendment additional detail	C	07/06/2023	Construction																			<div>Client:</div> <div>Graham & Ena Aschcroft</div> <div>Project Address:</div> <div>9 Sunrise Street</div> <div>Degilbo, QLD 4621</div>	<div>Project:</div> <div>Transportable Dwelling</div> <div>Project Number:</div> <div>42582</div> <div>Drawing Set:</div> <div>Engineering</div>	<div>Drawing:</div> <div>Floor Plan</div> <div>Drawing Number:</div> <div>5</div> <div>Drawing Scale:</div> <div>1:50</div> <div>Print Size:</div> <div>A3 Print</div>
Issue	Date	Comment																																		
A	27/01/2023	Amendment Connection																																		
B	27/03/2023	Amendment additional detail																																		
C	07/06/2023	Construction																																		



- 75x4 SHS duragal Stumps stump height varies from min 400mm to max 900mm above F.G.L. To be determined onsite.
- B1 bearers 150x50x4 RHS painted corrosion protection, proprietary product.
- J1 Joist 100x50x3 RHS max crs 600 painted corrosion protection, proprietary product Connection J1 to B1 Welded 4 cfw
- Steel Frame Construction.All elements wall and roof frame material to be 90x41x0.75bmt g550 AS/NZS 1365:1996 (R2016) AS 1397:2021
- Frame/roofing screw connections -Self Drilling Screws refer to manufacturers specification/technical bulletins
- Wall frame bottom plate to floor joists tie down connection 14g-20x 45mm class 4 Hexagon washer head + 40x40x3mm sq washer @600crs
- Wall frame top plate to truss tie down connection triple grip min 3 -TCS -12-35/1K or equivalent screws per face
- Gyprock internal cladding refer to manufacturers installation guide.
- Wall & Ceiling Insulation.
- Colorbond Profile Horizontal External Wall Cladding.
- Colorbond Roof Sheetting.
- Colorbond Barge Capping and guttering.

Note
Overall height of dwelling above
Ground level

Max height of dwelling
=3180 +900=4080mm

Min. Height of dwelling
=3180 +400 =3580mm

32mm x1.2mm galv. strap bracing, fix ends with (3)x 10-16x16mm sds ph flat hd screws to each end fix at every rafter with (1)x10-16x16mm sds ph flat hd screw

B1 150x50x4 RHS painted corrosion protection, proprietary product

J1 100x50x3 RHS max crs 600 painted corrosion protection, proprietary product Connection J1 to B1 Welded 4 cfw



Hackworth & Assoc Pty. Ltd.
Trading as
The SoilTesters
Plan By : Steven Hackworth - RPEQ 9411
P.O. Box 3400 Darra 4076
Address: Unit 2 / 42 Clinker Street, Darra 4076
Email: steven@thesoiltesters.com.au Ph: (07) 3376 9988

Note:
These plans are designed in accordance with and all workmanship, materials and construction shall comply with the Building Code of Australia, the Queensland Building Act and all relevant current Australian Standards.

Construction only to commence with the appropriate building approvals issued.

Building dimensions, specifications, conditions and materials indicative only, owner/contractor to confirm before commencement.

All dimensions are in millimetres unless noted otherwise with written dimensions take preference to scaled dimensions and are to the structure finish.

Refer all discrepancies to designer before commencing work (if in doubt ask).

Plans By :
Steven Hackworth - RPEQ 9411

Issue	Date	Comment
A	27/01/2023	Amendment Connection
B	27/03/2023	Amendment additional detail
C	07/06/2023	Construction

Client:
Graham & Ena Aschcroft
Project Address:
**9 Sunrise Street
Degilbo, QLD 4621**

Project:
Transportable Dwelling
Project Number:
42582
Drawing Set:
Engineering

Drawing:
Frame/Structural Layout
Drawing Number:
6
Drawing Scale:
1:100
Print Size:
A3 Print

Attachment 4 – Planning Act 2016 Extract Appeal Rights

Intentionally left blank

Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

