

NBRC RECEIVED

15 JUN 2023

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.



This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use **DA Form 1 – Development application details** and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	DRIVERS CONCRETE + CONSTRUCTION
Contact name (only applicable for companies)	LINCOLN DRIVER
Postal address (PO Box or street address)	2 DOWNING ST
Suburb	GAYNDAH
State	QLD
Postcode	4625
Country	AUSTRALIA
Contact number	0428 408 401
Email address (non-mandatory)	admin@driversconcrete.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans.	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or <input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	



Queensland Government

Unit No.	Street No.	Street Name and Type	Suburb
	41	WARTON	GAYNDAH
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4625	21	RP 87205	NORTH BURNETT

2.2) Additional premises

☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the DA Forms Guide

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☒ Yes – proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			
<input type="checkbox"/> Approval			
<input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$ 400.45	15-6-23	

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the *Referral checklist for building work* is attached to this development application
- ☒ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
- ☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	TANYA HATELY
Contact name (applicable for companies)	

Postal address (P.O. Box or street address)	PO Box 335
Suburb	GAYNDRAH
State	QLD
Postcode	4625
Contact number	0407 268 534
Email address (non-mandatory)	tan66@y7mail.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

15) Builder's details

☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	DRIVERS CONCRETE + CONSTRUCTION
Contact name (applicable for companies)	LINCOLN DRIVER
QBCC licence or owner -- builder number	15294870
Postal address (P.O. Box or street address)	2 DOWNING ST
Suburb	GAYNDRAH
State	QLD
Postcode	4625
Contact number	0428408401
Email address (non-mandatory)	admin@driversconcrete.com
Mobile number (non-mandatory)	
Fax number (non-mandatory)	

16) Provide details about the proposed building work

a) What type of approval is being sought?

☒ Development permit

☐ Preliminary approval

b) What is the level of assessment?

☒ Code assessment

☐ Impact assessment (requires public notification)

c) Nature of the proposed building work (tick all applicable boxes)

☒ New building or structure

☐ Change of building classification (involving building work)

☐ Demolition

☐ Repairs, alterations or additions

☐ Swimming pool and/or pool fence

☐ Relocation or removal

d) Provide a description of the work below or in an attached schedule.

OPEN CARPORT

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		

Floor	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Fibre cement <input type="checkbox"/> Other
f) Existing building use/classification? (if applicable)			
g) New building use/classification? (if applicable)			
10.A			
h) Relevant plans			
Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .			
<input checked="" type="checkbox"/> Relevant plans of the proposed works are attached to the development application			

17) What is the monetary value of the proposed building work?	\$ 30 000.00.
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18) Has Queensland Home Warranty Scheme Insurance been paid?		
<input checked="" type="checkbox"/> Yes – provide details below		
<input type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .	<input type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable

20) Applicant declaration
<input type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>
Note: It is unlawful to intentionally provide false or misleading information.
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the <i>DA Rules</i> except where:
<ul style="list-style-type: none"> such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or

- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:

Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

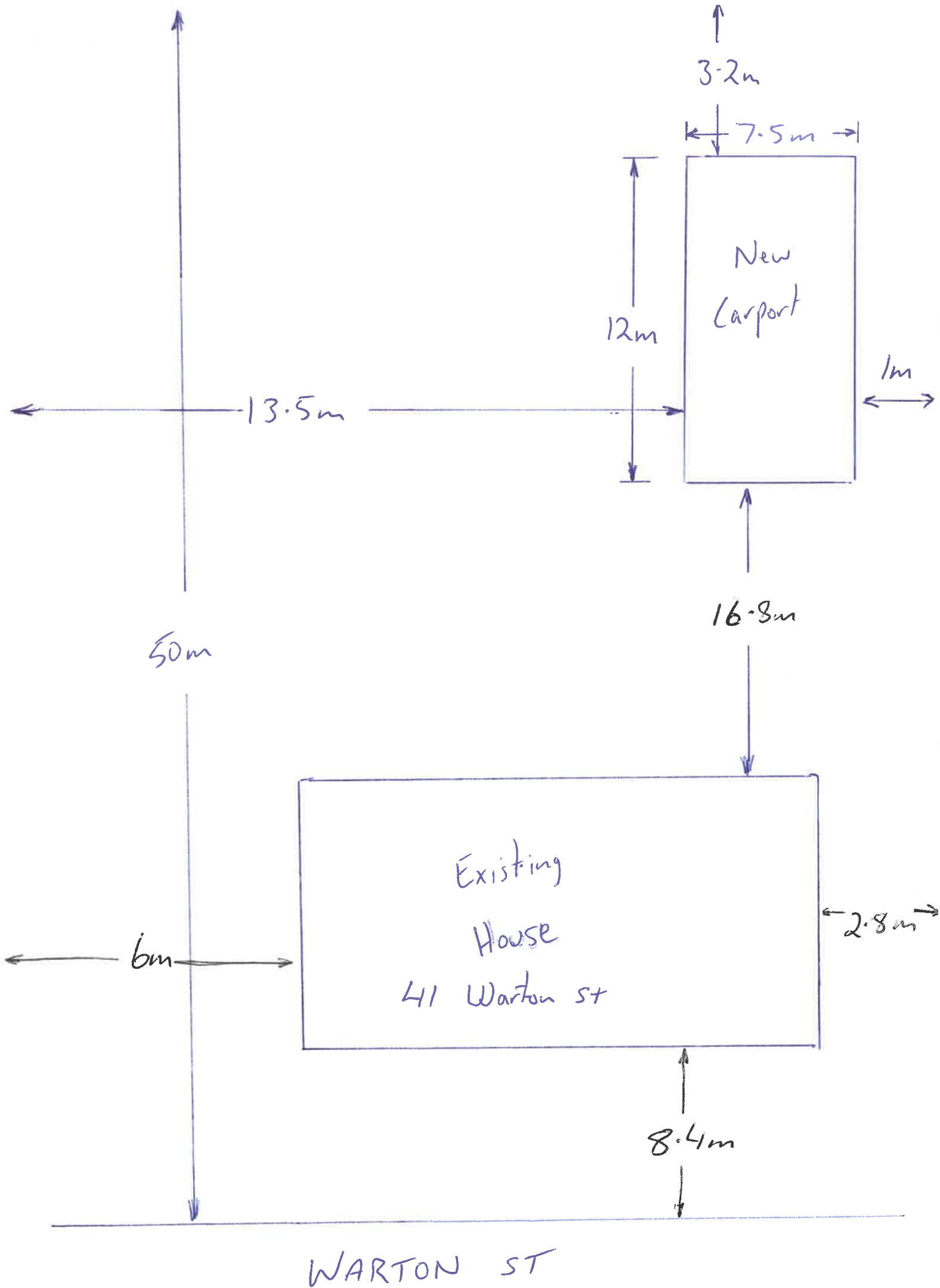
Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? (if applicable)	
New building use/classification?	
Site area (m ²)	Floor area (m ²)



NOTICE OF COVER QUEENSLAND HOME WARRANTY SCHEME

Subject to the limitations and exclusions expressed in schedule 6 QBCC Regulation 2018

COVER COMMENCEMENT DATE	1 June 2023
NOTIFICATION NUMBER	014596059
THE LAND	Address: 41 WARTON ST GAYNDAH
	Real Property Description: Lot 1 On RP 87205
THE CONTRACTOR	Name: Driver's Concrete & Constructions Pty Ltd
	Address: 2 Downing St Gayndah QLD 4625
	Licence No.: 15294870
	Licence Class:

Carpentry

The Insured Residential Construction Work

Type of Work

Description of Work

Reno/Alter/Add/Repair/Extension

Carport

Insurable Value:

\$30,000.00

Premium Paid:

\$400.40

OPTIONAL ADDITIONAL COVER

No

NOTE:

This Notice is issued in respect of Residential Construction Work as described in the Queensland Building and Construction Commission Act 1991 and confirms for the assessment manager or compliance assessor that the appropriate insurance premium has been paid as required by section 68E of the Act. These particulars are current at the date of issue but may change subsequent to that date.

IMPORTANT INFORMATION:

Ensure you obtain and keep the following documents in case you need to make an insurance claim at any time within the 6 year 6 month insurance period:

- A complete copy of the contract, signed by all parties
- All contract variations, in writing and signed by all parties to the contract
- A copy of the building specification and approved building plans
- Receipts or other evidence of all payments made to the builder.

NOTE THE FOLLOWING EXCLUSIONS AND LIMITATIONS:

- Duplex – if the duplex is not completed by the contractor, any claim for completion, including defects in the incomplete work, is limited to \$200,000.
- Three or more living units – a person who enters into 1 or more contracts to build 3 or more living units is not entitled to assistance. Subsequent purchasers of a unit are entitled to assistance.
- Construction Management or Cost-Plus contracts – where these types of contracts have been used there is no entitlement to make a claim to complete incomplete works. There is cover for defects.

This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

<p>1. Property description</p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>The description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address <i>(include number, street, suburb/locality and postcode)</i></p> <p>41 Wharton Street Gayndah 4625</p> <p>State QLD Postcode 4625</p> <p>Lot & plan details <i>(attach list if necessary)</i></p> <p>Lot: 1, RP 87205</p> <p>Local government area the land is situated in</p> <p>North Burnett Regional Council</p>
<p>2. Description of aspect/s certified</p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p>All structural aspects of elements described on the drawings listed below:</p> <ul style="list-style-type: none"> - Slab & Footings to suit S/M site classification - Steel framing elements of <p>Carport OSP Flat Roof 7.500 x 12.000</p>
<p>3. Basis of certification</p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon</p>	<p>Structural elements designed in accordance with the BCA:</p> <p>AS 1170.0, 1, 2 & 4 Structural Design Actions</p> <p>AS 2870 - 2011 Residential Slabs & Footings</p> <p>AS 3600 - 2018 Concrete Structures</p> <p>AS 4100 - 2020 Steel Structures</p> <p>AS 4600 - 2018 – Cold-Formed Steel Structures</p> <p>NCC 2022</p>

**4. Reference documentation for
McHugh Steel Job No
32121314024734**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

1254 PG1 REV-2, SLAB PG1 REV-7,
EW1, QP1, RP1, MT1, FP1, BC1, SW1
Site Check Assessment Code: mch23050056JL

**5. Building certifier reference
number and building
development approval number**

Building certifier reference number

Building development application number *(if available)*

**6. Appointed competent person
details**

Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name *(in full)*

John Towler

Company Name *(if applicable)*

McHugh Steel Pty Ltd

Business phone number

(07) 4153 6588

Email address

rob@mchughsteel.com.au

Postal address

17 Phoebe Crescent

State

QLD

Postcode **4670**

Licence class or registration type *(if applicable)*

Civil

Licence or registration number *(if applicable)*

N.P.E.R 131 7430 R.P.E.Q No: 4562

Certificate No

32121314024734.C01

Contact person

John Towler

Mobile

**7. Signature of appointed
competent person**

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature

Date

26 May 2023

LOCAL GOVERNMENT USE ONLY

Date received

Reference number/s

Appendix – explanatory information

IMPORTANT NOTE: it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (section 10 of the Building Act 1975 (Building Act) and sections 73 and 77 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines building design or specification as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

What is the purpose of this form? (section 10 of the Building Act and sections 73 and 77 of the BR 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

Can a manufacturer or supplier give this Form 15?

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design specification). A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

Competent person (section 10 of the Building Act 1975 and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

What is required if a manufacturer or supplier did not do the design work for the product?

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for materials such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the lefthand side of the page) is not altered.

Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the Building Act 1975. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the Building Act 1975. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

SITE SPECIFIC DESIGN CRITERIA ANALYSIS



Issued:
26/05/2023

Prepared for:
Lincoln Driver
41 Wharton Street
Gayndah QLD 4625

Supplier:
McHugh Steel

Assessment Ref:
mcH23050056JL

Building Details:
Span: 7.5
Length: 12
Avg. Height: 3.956

Assesment basis:
NCC 2022
AS/NZS 1170.2:2021
AS/NZS 1170.3:2003
AS1170.4:2007
AS/NZS 3500.3:2021

Certified by:

John Towler



Site Location:

Geographic coordinates of
-25.62836,151.60618

The address provided for reference purpose only is:
41 Wharton Street Gayndah QLD 4625

Executive Summary - Site Specific Analysis

The design analysis of the building has not been considered for each of the 4 orthogonal directions. Hence the maximum wind speed in any of the 8 cardinal directions has been used as the design wind speed. This is a conservative approach.

Each cardinal direction has been considered and the results are summarised below

Factor	N	NE	E	SE	S	SW	W	NW
Wind Region	B1							
Importance level (IL)	2							
Distance from Smoothed Coastline	N/A							
Regional Wind Speed (Vr)	57.0							
Climate Change Factor (Mc)	1							
Terrain Category (TC)	2.58	2.7	2.55	2.5	2.5	2.5	2.53	2.5
Terrain Category Multiplier (Mz)	0.86	0.85	0.87	0.87	0.87	0.87	0.87	0.87
Shielding Multiplier (Ms)	0.86	0.92	0.87	0.92	0.9	0.8	0.92	0.85
Topographic Multiplier (Mt)	1	1.02	1	1.07	1	1	1	1
Wind Direction Multiplier 1 (Md1)	0.75	0.75	0.85	0.9	0.95	0.95	0.95	0.9
Site specific design wind speed (Vsite1)	31.8	34.3	36.5	43.9	42.4	37.7	43.2	37.9
Wind Direction Multiplier 2 (Md2)	0.75	0.75	0.85	0.9	0.95	0.95	0.95	0.9
Site specific design wind speed (Vsite2)	31.8	34.3	36.5	43.9	42.4	37.7	43.2	37.9

Design Wind Speed (Vsite1) 43.9 m/s for the resultant forces and overturning moments on the complete building and wind actions on major structural elements.

Design Wind Speed (Vsite2) 43.9 m/s for cladding and immediate supporting structures (Purlins and Girts)

Snow Load Nil

Earthquake 0.09 Hazard Design Factor (Z)

Durability Alert No

Rainfall Intensity 232mm/hr AEP 20 Years
Rainfall Intensity 301mm/hr AEP 100 Years

Compliance Statement

Quote Details

Quote No: 32121314024734 Quote Date: 13 Dec 2022
Customer: Lincoln Driver
Site: 41 Wharton Street Gayndah 4625
Site Check: <https://sitecheck.shedsafe.com.au/Engineering/WndRegion/7c86f8fb-63b8-499a-9285-6592cec0e6ad>

Building Details

Building Style	Carport OSP Flat Roof-500mm Offset Post Carport
Roof Style	Flat Roof
Roof Pitch	5.00°
Length	12.000m
Width	7.500m
Height	3.300m
Bay Count	2
Bay Sizes	6.00m, 6.00m
Building Class	10A Domestic: Non-Isolated Shed or Carport
Building Importance Level	2
Design Wind Speed	43 m/s
Design Wind Pressure	1.1094 kPa
Wind Speed Certificate	mcH23050056JL

Members

Portals

End Portal Column	100x100x3.0 Duragal RHS	End Portal Rafter	C20019- 76mm F Punched
Internal Portal Column	100x100x3.0 Duragal RHS	Internal Portal Rafter	C20019- 76mm F Punched BB
Knee Braces	NA	Apex Braces	NA

Purlins / Girts

Roof Purlin P1	C10015 Punched Flange: 50	Eave Purlin EP1	NC208-1.5 Nesting Channel (suit C200) Flange: 88
Roof Purlin Spacing	0.941m, 1.882m, 2.823m, 3.764m, 4.705m, 5.646m, 6.587m		

Bracing

Roof Bracing	50x1.2 Strap Bracing
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Doors / Windows

Doors & Windows	None
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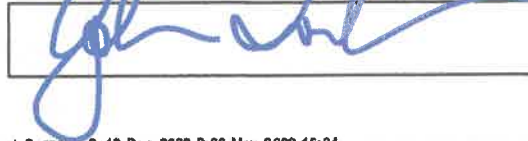
Cladding

Roof Cladding	M-Deck HI-Profile 0.42bmt 0.47 TCT	Roof Screws	Roof Screw - 12x50 HI Rib - Colour
Wall Cladding	None	Wall Screws	Wall Screw - 10-16x16mm - Colour

Barge / Gutter

Gutter	Square Gutter & 90mm PVC D-P	Down Pipe	90mm PVC Downpipe - 6m Length
Barge	120mm Custom Square/3-B Ridge HI-Rib Roof	Ridge Cap	397G-CO/TD 3 Brk .40 Ridge Cap C/B

I certify that the shed kit components listed below are structurally adequate for their purpose. This document takes precedence over selections from tables in the standard drawings.



DWG-MT1

Bracing Calculations

Quote Details

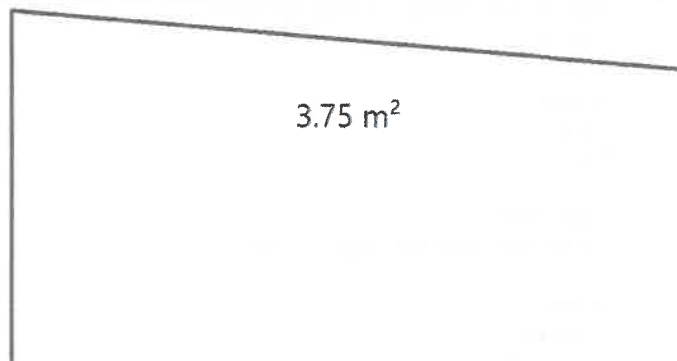
Quote No: 32121314024734

Quote Date: 13 Dec 2022

Customer: Lincoln Driver

Site: 41 Wharton Street Gayndah 4625

Effective End Wall Area



Building Details

Building Style	Carport OSP Flat Roof-500mm Offset Post Carport
Roof Style	Flat Roof
Roof Cladding	M-Deck HI-Profile 0.42bmt 0.47 TCT
Wall Cladding	
Design Wind Speed Vzu	43 m/s
Design Wind Pressure Qu	1.1 kPa
Wind Speed Certificate	mcH23050056JL

	Main Building	Left Awning	Right Awning	Total
Length	12.000m			
Width	7.500m			7.500m
Wall Height	3.300m			
Average Roof Height	3.464m			
Roof Pitch	5.00°			
Bay Count	2			
Flushed Rafter Depth	0.235m			
End Portal Column Width	0.100m			

Drag

	Roof	Wall
Sheeting Drag Coefficient	0.04	0.04
Drag	0.00	0.00

Main Building

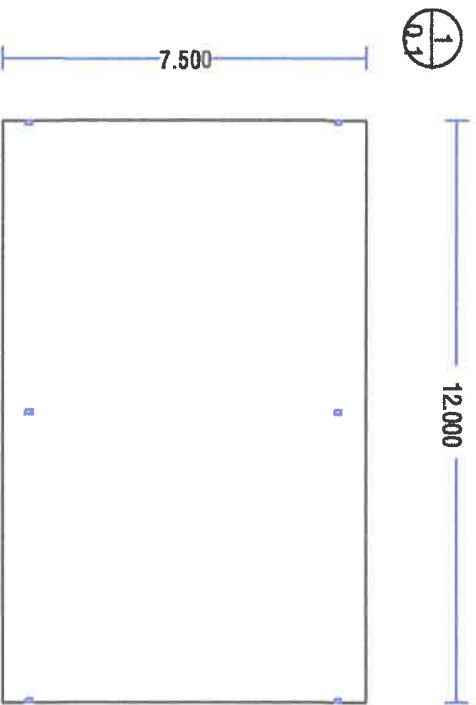
Leeward Wall Cpe	0.38	Cross Wind Bracing Requirements - 181121.xlsx - CrossWind Enclosed - Leeward Wall Cpe
Windward Wall Cpe	0.70	Long Wind Bracing Calculator 140311.xlsx
Cpt	1.10	Restricted Internal Pressure: Flat Roof
Enclosed End Wall Area	3.7 m ²	Restricted Internal Pressure: (Width / Cos(DegToRad(RoofPitch))) * Side Wall Skirting Depth) + (2 * Height * End Portal Column Width * WallCount)
Effective End Wall Area	3.7 m ²	Enclosed End Wall Area
End Wall Force	4.6 m ²	Effective End Wall Area * Cpt * Qu

DWG- BC1

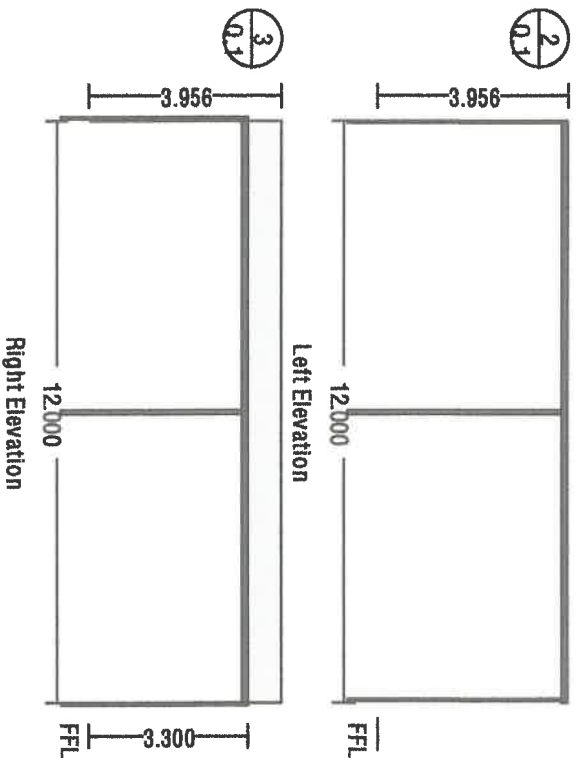
Wall Drag Force	0.00 kN	Length Factor = 0. Result = 0
Roof Drag Force	0.00 kN	Length Factor = 0. Result = 0
Side Wall Bracing Force Requirement	4.58 kN	Roof Drag Force + Wall Drag Force + End Wall Force
Side Wall Area	2.8 m ²	Length * Height
End Wall Bracing Force Requirement	3.79 kN	Side Wall Area * C _{pn} * Q _u



DWG-BC1

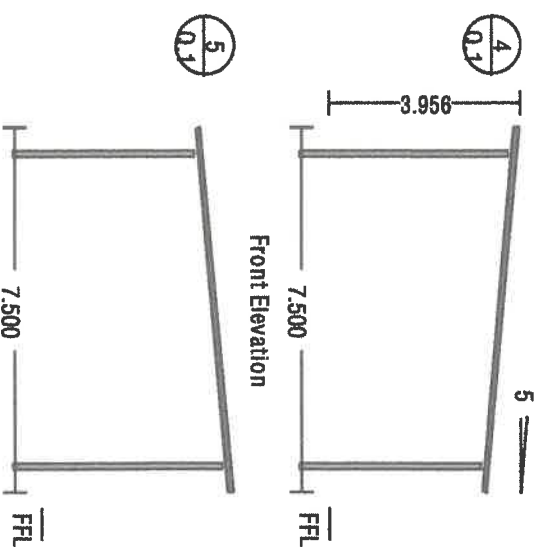


PLAN



Left Elevation

Right Elevation



Front Elevation

Rear Elevation

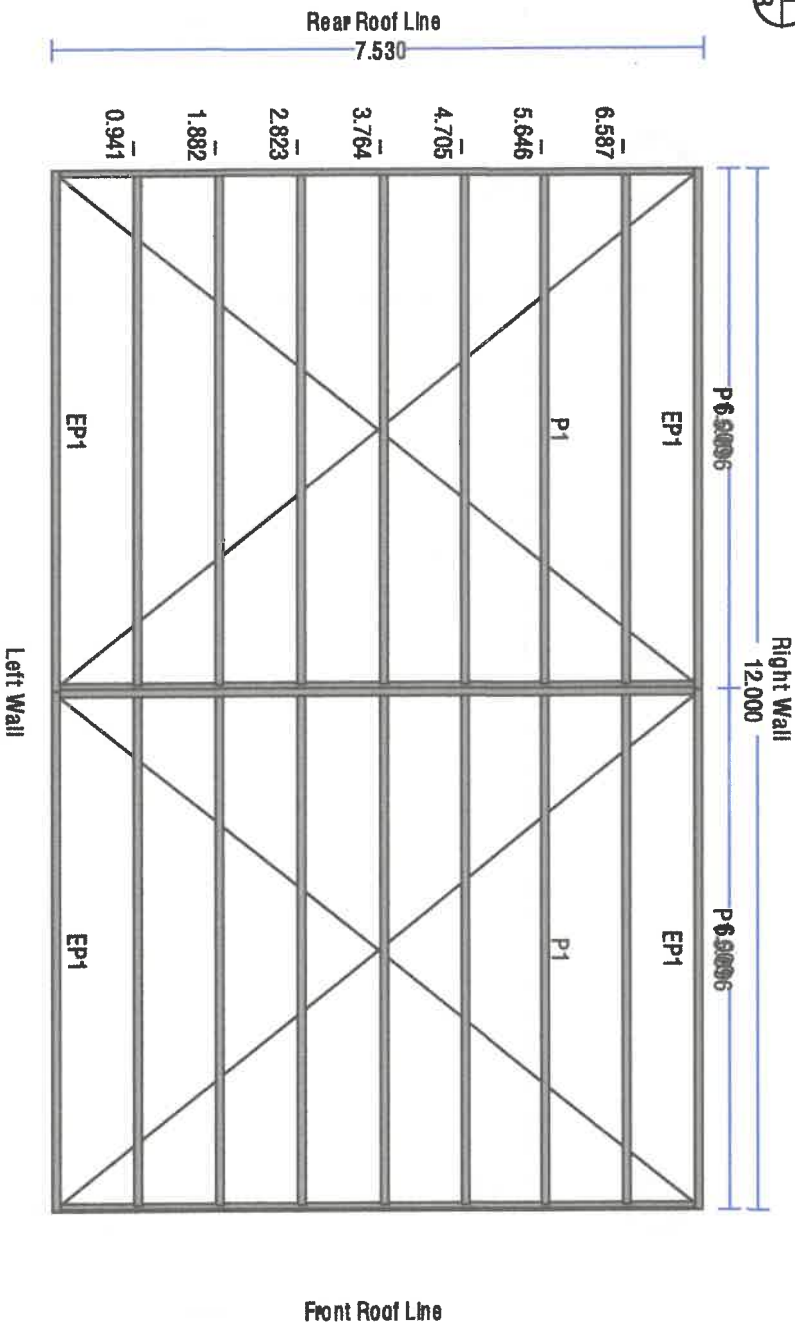
CLIENT

Capport OSP Flat Roof-500mm Offset Post Capport Vdes=49 m/s (Reg-B) 7.500 x 12.000 x 3.300
At 41 Wharton Street Gayndah 4625
For: Lincoln Driver
Approved by:

DRAWING

QP1 Ref: 32121314024734 NTS

ARCHITECTURAL DRAWINGS



CLIENT

Carpent OSP Flat Roof-500mm Offset Post Carport Vdes=49 m/s (Reg-B) 7,500 x 12,000 x 3,300
At: 41 Wharfedale Street, Gayndah 4625
For: Lincoln Drive
Approved by: _____ Date: _____

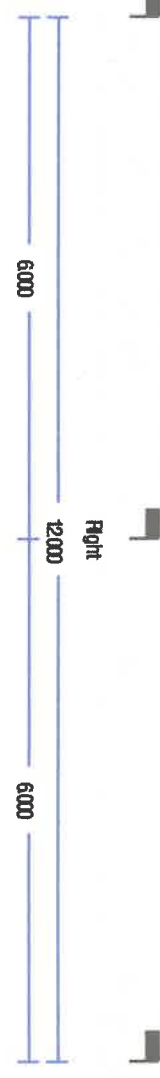
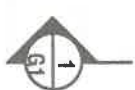
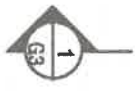
DRAWING

RP1

Ref: 32121314024734

NTS

Roof Purlin View



Rear

Front

Refer to standard drawing SLAB



CLIENT

Capport OSP Flat Roof-500mm Offset Post Capport Vdes-49 m/s (Reg-B) 7.500 x 12.000 x 3.300
At 41 Wharton Street Gayndah 4625
For Lincoln Driv ar
Approved by:

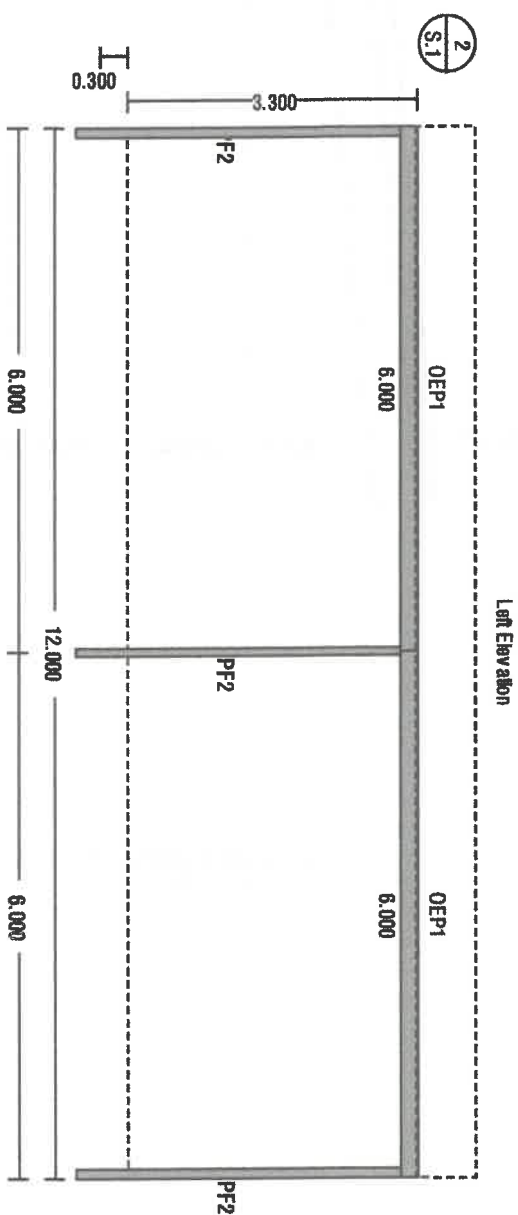
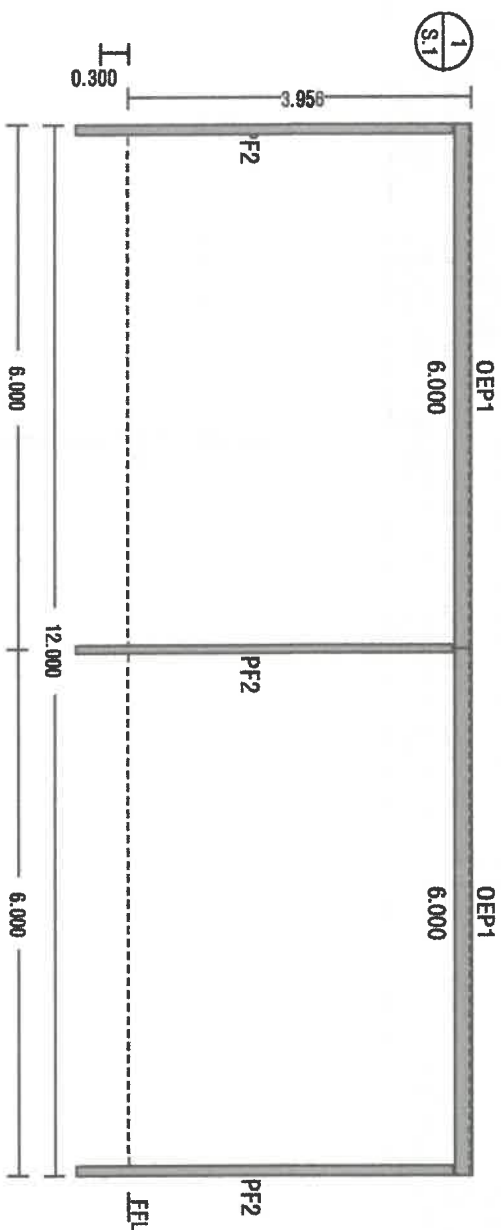
DRAWING

PP1 Rr 3223M2224
Footing View
MS

Long Wind Bracing

Bracing Required: 4.58 kN

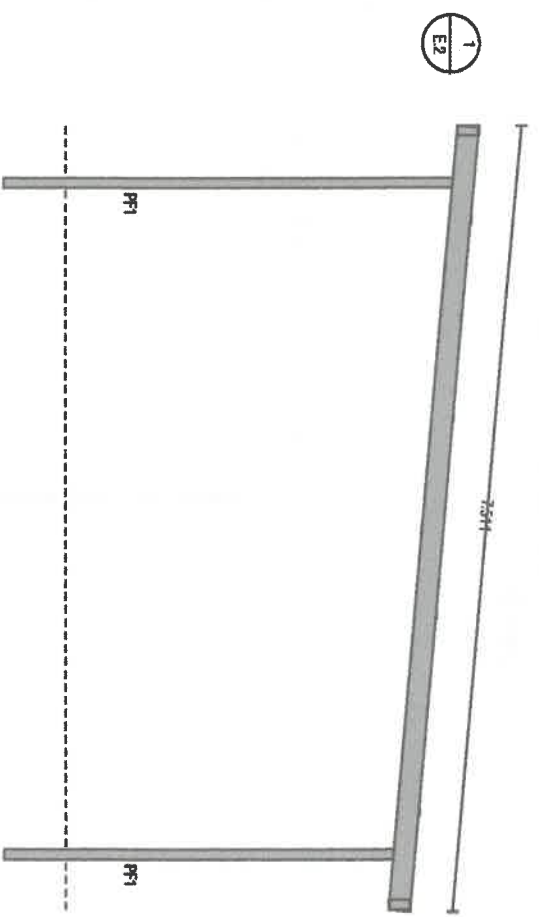
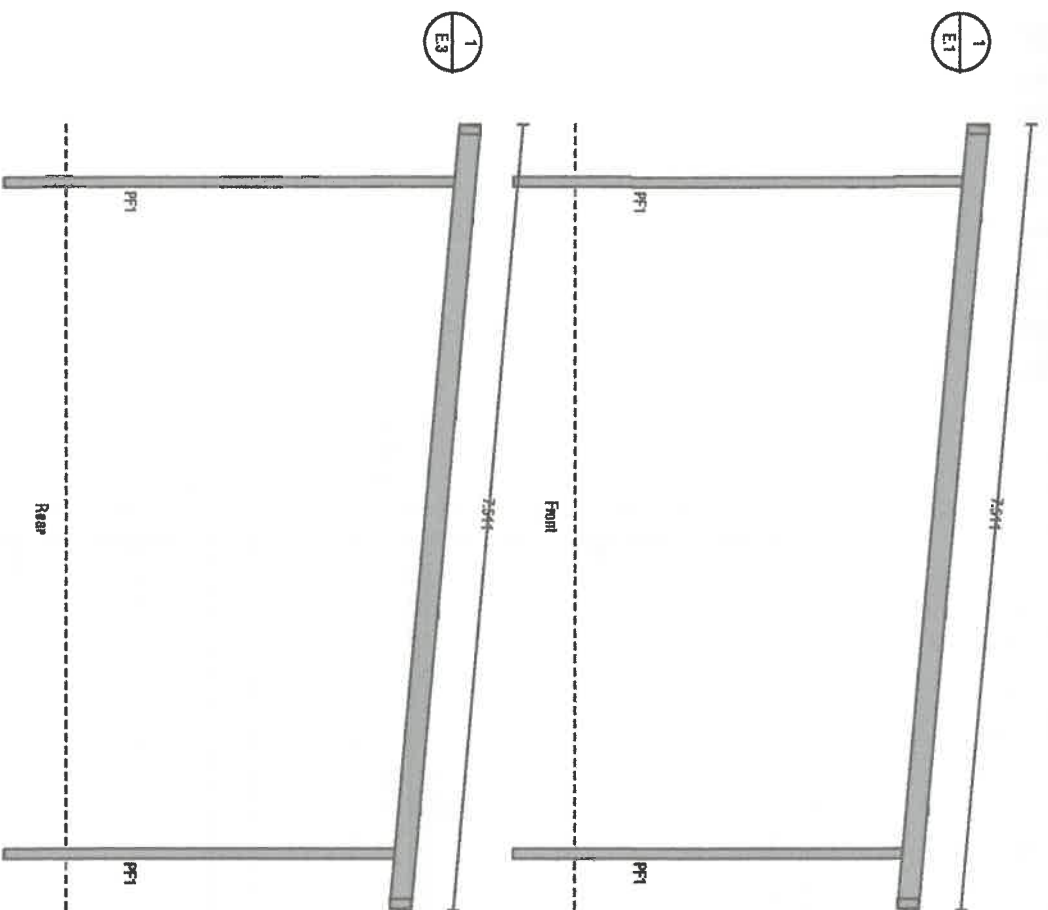
Bracing Designed: 0.00 kN



CLIENT	
Carpent OSP Flat Roof 500mm Offset Post Carport Vdes=49 m/s (Reg-B) 7.500 x 12.000 x 3.300	
At: 41 Wharfedale Street Gayndah 4625	
For: Lincoln Driveway	
Approved by:	Date:

DRAWING	
SW1	Ref: 32121314024734
Side Wall	
NTS	





CLIENT

Carport OSP Flat Roof-500mm Offset Post Carport Vdes=49 m/s (Reg-B) 7.500 x 12.000 x 3.300

At 41 Wharton Street Gayndah 4625

For Lincoln Drive

Approved by:

Date:

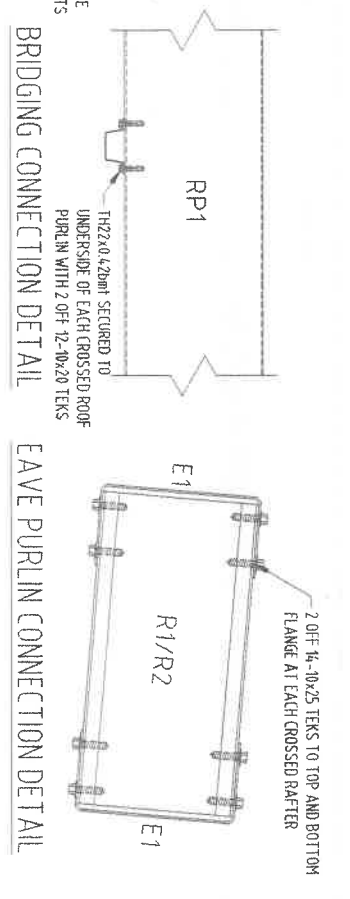
DRAWING

EW1

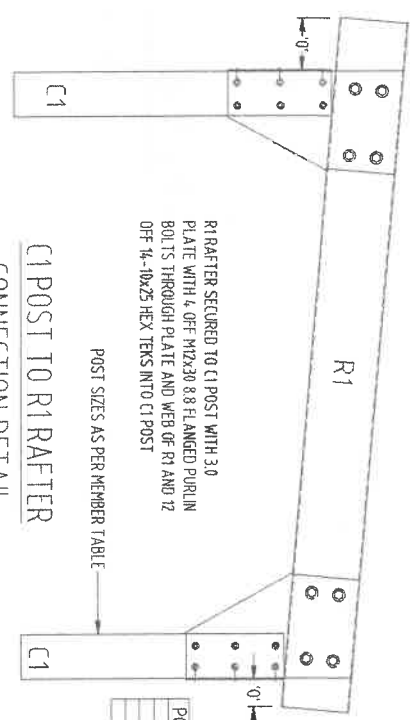
Ref 32121314024734

NTS

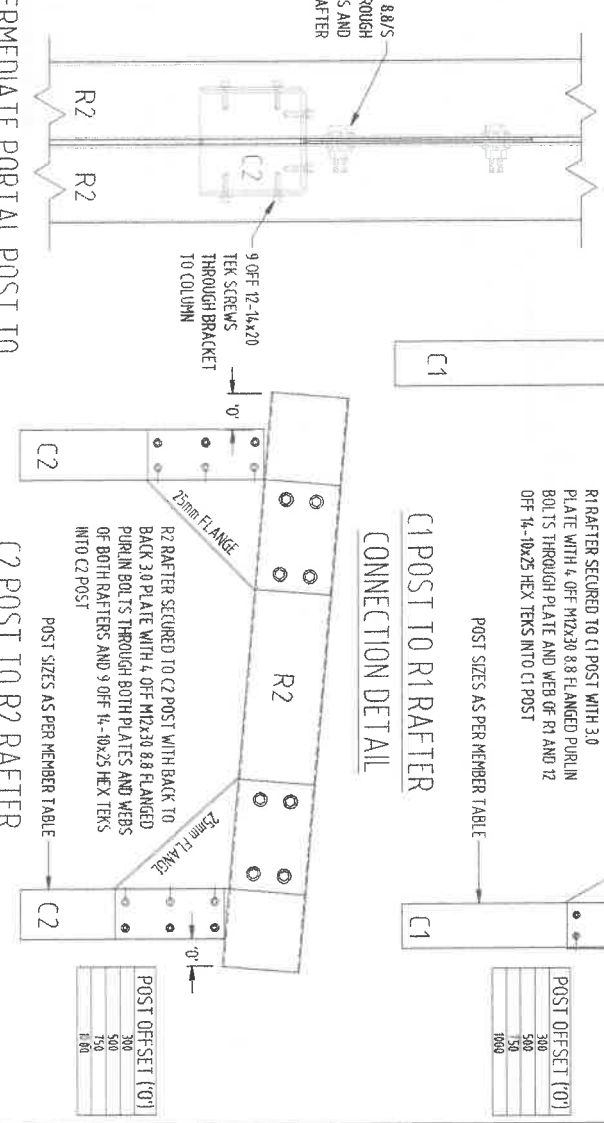
End Wall Frame



PURLIN TO RAFTER CENTRE
CONNECTION DETAIL





ON SLAB FOOTING DETAIL



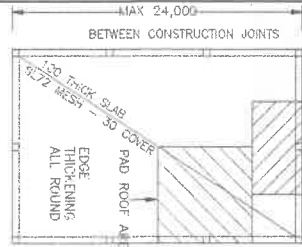
INTERMEDIATE PORTAL POST TO BACK-TO-BACK RAFTER CONNECTION

Consulting Engineer: JOHN TOWLER (ASPE 4562)

 <i>Shirts and Pajamas for You!</i>		Consulting Engineer: <i>John Towler (PECC 4562)</i>	
Phone: (07) 4,153 6588	Fax: (07) 4,153 6981		
Email: rob@mcughsteel.com.au			
			
REV	WORK DONE	BY	DATE
0	ORIGINAL RELEASE	JR	02/03/16
1	ADDED ON SLAB FOOTING DETAIL	JR	21/04/16
2	REMOVED SLAB NOTES & WIND INFO	JR	21/11/16
OTHER INFORMATION:		TITLE:	
THIS DETAIL PAGE IS TO BE USED IN CONJUNCTION WITH ALL DRAWINGS SPECIFIED DWG#11 & PROFILE INFO FORM		CONNECTION DETAILS FOR OFFSET POST CARPORT	
DRAWN: J RADLOFF		DRAWING NUMBER: DWG1254-PG1	
A3		DATE: 02/03/2016	
		REV 2	

DOMESTIC OPTION

PIER FOOTINGS UNDER ALL COLUMNS AND MULLIONS AS REQUIRED



DOMESTIC SHED SLABS

SUITABLE FOR CLASS 10g SHEDS IN FIRM STABLE GROUND.
MAX SHRINKAGE - CLASS M & M-D
FOR CLASS H AND H-D SOILS INCREASE SLAB DEPTH TO 110mm AND INSTALL 300g MASS CONCRETE PIERS UNDER EACH PAD FOOTING TO 1500 BELOW SURFACE.

SLAB EDGE BEAM
200mm D x 300mm W

SL72 MESH - 30mm COVER UNO

SLAB TIE DOWN RESISTANCE
100mm SLAB - 80kN per Col
150mm SLAB - 80kN per Col

PIER TIE DOWN RESISTANCE
FOR DEPTH 'D'
Ø = 300mm - 200kN
Ø = 450mm - 300kN
Ø = 600mm - 400kN

PIER REINFORCING
FOR Ø = 300mm - 4 x Y12
Ø = 450mm - 4 x Y18
Ø = 600mm - 6 x Y18

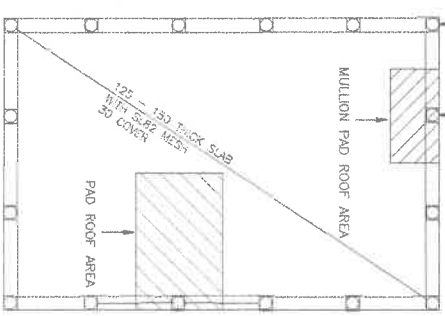
SITE WIND SPEED (m/s)	Q _u (kPa)
30	0.50
33	0.60
37	0.78
41	0.95
45	1.15
50	1.45
55	1.78
61	2.20
66	2.55

SLAB NOTES:

- USERS SHALL CALCULATE THE REQUIRED TIE DOWN STRENGTH FOR EACH COLUMN LOCATION AND HENCE THE REQUIRED PIER DEPTH 'D' TO BE INSTALLED IF NECESSARY
- ONLY THE PIER DEPTH 'D' SHALL CONTRIBUTE TO SKIN FRICTION TIE DOWN. SLAB TIE DOWN RESISTANCE FROM DEAD WEIGHT IS NOTED ON CROSS SECTIONS MINIMUM 28 DAYS CONCRETE STRENGTH TO BE 25 MPa.
- MAXIMUM AGGREGATE STONE SIZE - 20mm.
- DESIGN SLUMP TO BE 100mm ± 10mm.
- EDGE BEAM TO BE ROUNDED ON NATURAL SOIL OR CONTROL COMPACTED FILL.
- CONCRETE ON CUT/FILL SITES AND APPLICABLE PROBLEM SOILS MAY USE MASS CONCRETE PIERS PLACED THROUGH FILL 200mm INTO NATURAL SOIL.
- SOIL CONDITIONS ARE ASSIGNED TO BE CLASS M OR BETTER FOR STANDARD SLAB UNO. TABLE OPTIONS FOR CLASS H, HD & E ARE ALSO PROVIDED. SLAB AND EDGE BEAMS SHALL BE POURED IN ONE CONTINUOUS OPERATION UNO.
- CONCRETE IS TO BE COMPACTED BY VIBRATION OR OTHER MECHANICAL MEANS. SAW CUTTING OF CRACK CONTROL JOINTS SHALL BE CARRIED OUT WITHIN 24hrs OF THE PLACING OPERATION.
- A SINGLE LAYER OF 200 MICRON PVC SHEETING SHALL BE PLACED UNDER THE SLAB. 50mm OF CRUSHER DUST IS RECOMMENDED FOR A LEVEL EVEN COMPACTED SURFACE.
- CURING OF SLAB SURFACE AGAINST EXCESSIVE MOISTURE LOSS SHALL BE CARRIED OUT FOR 7 DAYS AFTER PLACING. ENGINEER APPROVED METHODS ONLY.
- SLABS PLACED WIDER THAN 15m SPAN SHALL HAVE SL92 SLAB MESH AND 150 THL SLAB AS STANDARD.
- ALL SLABS PLACED LONGER THAN 24m (ONE POUR) SHALL HAVE SL92 SLAB MESH AS STANDARD.
- MAXIMUM LENGTH BETWEEN CONNECTION JOINTS OF SLAB.
- 100mm thk - 180m
- 150mm thk - 30m
- INDUSTRIAL SLAB DESIGNS ARE A GUIDE ONLY WITH MINIMUM DESIGN FOR WHEEL AND POST LOADS. ALL INDUSTRIAL SLAB DESIGNS SHOULD BE REFERRED TO AN PEED ENGINEER FOR A SITE SPECIFIC DESIGN

INDUSTRIAL OPTION

PIERS UNDER ALL COLUMNS AND MULLIONS



THE DOWN REQUIRED DOMESTIC & INDUSTRIAL SHED SLABS

NOTE: PAD ROOF AREA IS THE FOOTED AREA THAT THE PAD IS HOLDING FOR THE DOWN. REFER INDICATIVE SKETCHES.
PAD ROOF AREA = 1/2 SPAN x BAY WIDTH (AS SHOWN)
ROOF AREA = 1/2 BAY x MULLION SPACING (AS SHOWN)

THE DOWN REQ (kN) = ROOF AREA (m²) x Q_u (kPa) x C_{pe}

C_{pe} - ASSUMED = 0.09 Q_u - REFER TABLE

SLAB EDGE BEAM
300mm D x 60mm W

Y12 TRIMMER BAR TO EDGE OF ALL SLABS 30 COVER

FOOTING REINFORCEMENT Y12 TRENCH BARS Ø 150 CTRS 1500 LONG Ø PIER LOCATIONS

SL92 MESH - 30mm COVER UNO

SLAB TIE DOWN RESISTANCE
125mm SLAB - 100kN per Col
150mm SLAB - 150kN per Col

REINFORCED INDUSTRIAL SLAB DETAIL

SAFE SLAB - NORMAL GROUND PREP. REFER NOTES - SEE BELOW
100g PAD SURFACE UNDER SLAB AND PLACE 100mm CRUSHER DUST (OR SIMILAR) COMPACTED AND LEVELLED

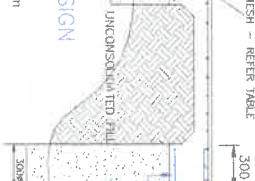
Member	Top	Member	Top
Y12	350	F81M #25 TRENCH	630

MAX BEAM SPACING - 5000
MESH - REFER TABLE

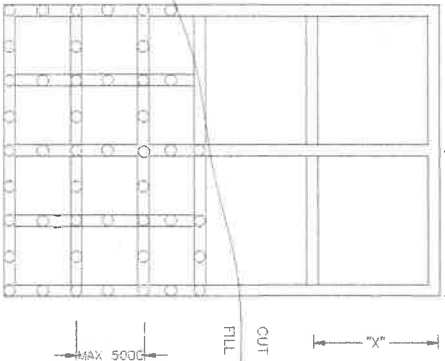
VARIES - REFER TABLES
OPTIONS - 100mm, 110mm, 125mm & 150mm

REINFORCED EDGE BEAM SLAB DESIGN

SUITABLE FOR ALL SHEDS IN FIRM STABLE GROUND AND CUT TO FILL SITES.
FOR INDUSTRIAL SLABS INCREASE SLAB DEPTH TO 150mm AND MESH SIZE TO SL92.
THIS DESIGN ALSO MAY BE SUITABLE FOR CLASS P PROBLEM SITES. REFER TO ENGINEER.



CUT & FILL



EDGE BEAM AND SLAB SCHEDULE

SITE CLASS	DEPTH	SLAB MESH	TRENCH MESH	MAX INTERVAL BDM SPACING X ¹	PIERS
A	300	SL82	3-81M	-	-
S	300	SL82	3-81M	-	-
M	300	SL82	3-111M	-	-
M-D	300	SL82	3-111M	8.0m	-
H	400	SL82	3-111M	7.0m	2.5m Ctrs
H-D	400	SL82	3-111M	6.0m	2.5m Ctrs
E	500	SL82	3x Y121M	5.0m	2.5m Ctrs
P	500	SL82	3x Y121M	5.0m	2.5m Ctrs

CLASS E & P SITES SHOULD BE REFERRED TO AN ENGINEER FOR CONFIRMATION CLASS P DESIGN CAN BE USED FOR CUT/FILL SITES.

McHUGH STEEL

Consulting Engineers JOHN TOWLER (07) 4532

Phone: (07) 453 6588 Fax: (07) 453 6981
Email: rob@mchughsteel.com.au

7 NEW PIER DESIGN & INDUSTRIAL INCLUSION CB 23/08/17

6 ALL DETAILS REVISED JR 13/02/17

5 SLAB MESH MIN SL62 NOW SL72 JR 10/02/17

4 PIER DETAIL MOVED TO SEPARATE DRAWING JR 18/05/16

0 ORIGINAL RELEASE JR 15/12/15

OTHER INFORMATION:

TITLE: STANDARD DOMESTIC & INDUSTRIAL SLAB DETAIL

WIND DESIGN:

DRAWN: C. BALSDON

DRAWING NUMBER: DWG-SLAB

DATE: 23/08/2015 REV 7