

18 July 2023

Mailing Address: PO Box 390, Gayndah Qld 4625
Street Address: 34-36 Capper Street, Gayndah Qld 4625
Telephone: 1300 696 272
Facsimile: (07) 4161 1425
Email: admin@northburnett.qld.gov.au
Web: www.northburnett.qld.gov.au
ABN: 23 439 388 197

Your Reference:
Our Reference: DA230035

DRIVER'S CONCRETE & CONSTRUCTIONS PTY LTD
2 Downing Street
GAYNDAH QLD 4625
Via email: admin@driversconcrete.com

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

41 WARTON STREET, GAYNDAH
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 19 June 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	DRIVER'S CONCRETE & CONSTRUCTIONS PTY LTD
Applicant contact details:	2 Downing Street GAYNDAH QLD 4625
Email:	admin@driversconcrete.com
Phone:	0428 408 401
Mobile:	

Site details

Street address:	41 WARTON STREET, GAYNDAH
Real property description:	1RP87205

Application details

Application No:	DA230035
Date of Decision	18 July 2023
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Concurrency Agency	Development Permit	Shed - Design and Siting

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 3 Design and Siting – QDC non-compliance and/or QDC alternate provision assessment
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Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that; The development approval must be subject to stated development conditions set out in <u>Attachment 1</u> .
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Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

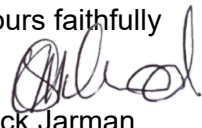
Document No./ Reference	Title (prepared by)	Date
	Site plan (hand drawn)	
	Site plan showing easement and sewer location by North Burnett Regional Council	
DWG-BC1 Page 1 of 2	Compliance Statement by John Towler	13/12/2022
DWG-BC1 Page 1 of 2	Compliance Statement by John Towler	13/12/2022
QP1	Architectural Drawings by McHugh Steel	
FP1	Footing View by McHugh Steel	
SW1	Side Wall by McHugh Steel	
EW1	End Wall Frame by McHugh Steel	

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

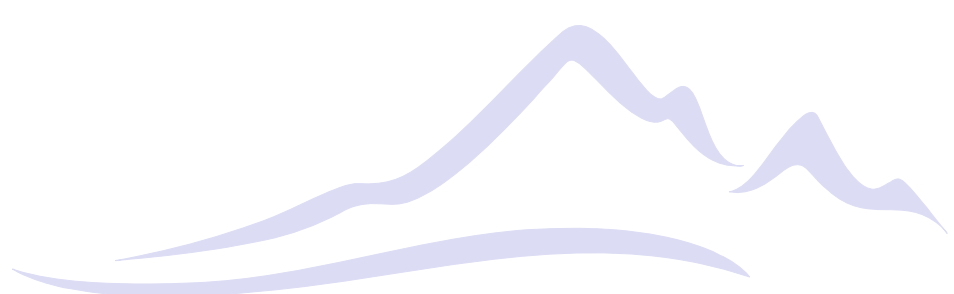
Yours faithfully

for 

Mick Jarman

Planning and Environment Manager

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans



Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The approved carport must be sited a minimum 1 metres from the south-western property boundary adjoining onto 43 Warton Street and 3.2 metres from the south-eastern boundary, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved carport must not exceed 110m ²
4.	The carport is maintained as an 'open' structure and is not to be infilled with walling or roller doors.
5.	The overall height of the approved carport must not exceed 4.5 metres measured from natural ground level.
Use	
6.	The approved carport is to be used for private/domestic purposes only. The approved structure must not be used as a separate domicile/dwelling or used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
7.	The approved carport must not be used for habitable purposes.

Attachment 1B – Advice Notes

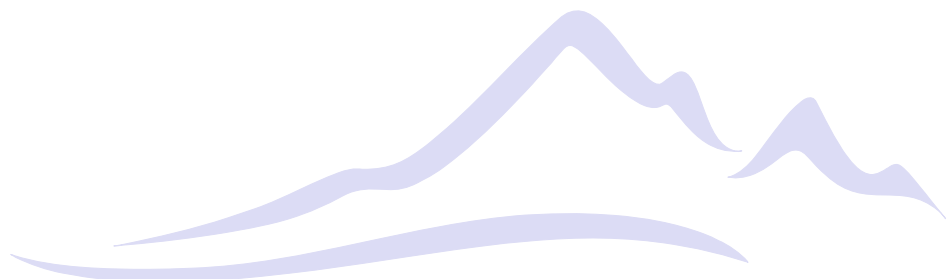
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

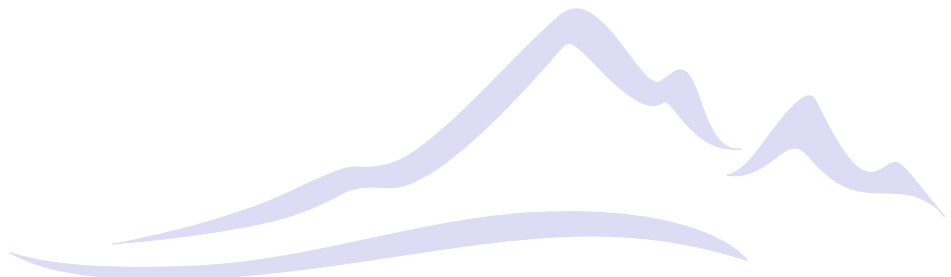
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.

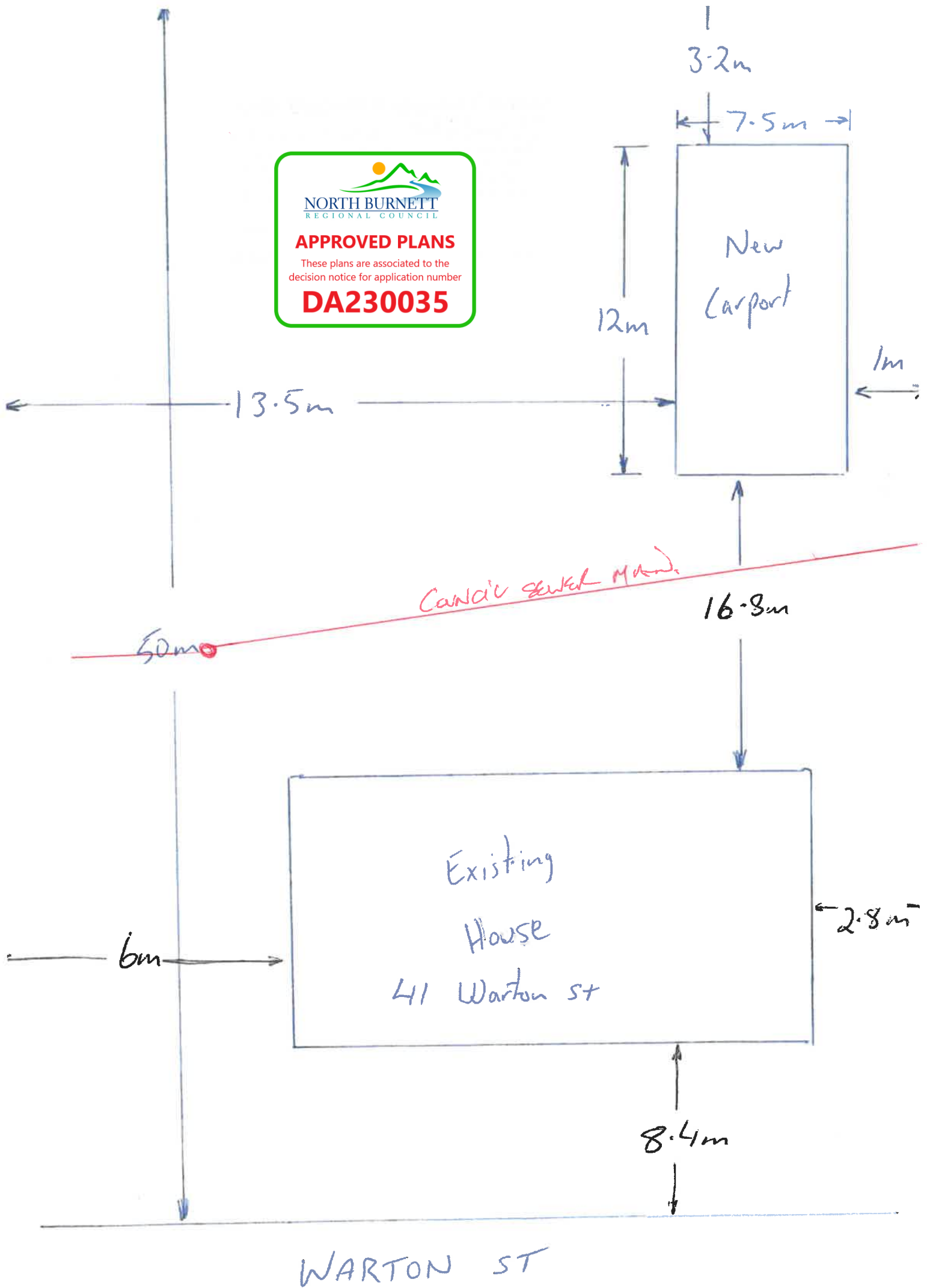


Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.







6/19/2023

1:302

41 Warton Street
Gayndah

- Easement and sewer
main locations

While every care is taken to ensure the accuracy of this data, the North Burnett Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibilities and all liabilities (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you may incur as a result of the data being inaccurate or incomplete in anyway and for any reason.



APPROVED PLANS

These plans are associated to the
decision notice for application number

DA230035

Compliance Statement

Quote Details

Quote No: 32121314024734 Quote Date: 13 Dec 2022
 Customer: Lincoln Driver
 Site: 41 Wharton Street Gayndah 4625
 Site Check: <https://sitecheck.shedsafe.com.au/Engineering/WndRegion/7c86f8fb-63b8-499a-8285-6592cec0e6ad>

Building Details

Building Style	Carport OSP Flat Roof-500mm Offset Post Carport
Roof Style	Flat Roof
Roof Pitch	5.00°
Length	12.000m
Width	7.500m
Height	3.300m
Bay Count	2
Bay Sizes	6.00m, 6.00m
Building Class	10A Domestic: Non-Isolated Shed or Carport
Building Importance Level	2
Design Wind Speed	43 m/s
Design Wind Pressure	1.1094 kPa
Wind Speed Certificate	mcH23050056JL

Members

Portals

End Portal Column	100x100x3.0 Duragal RHS	End Portal Rafter	C20019- 76mm F Punched
Internal Portal Column	100x100x3.0 Duragal RHS	Internal Portal Rafter	C20019- 76mm F Punched BB
Knee Braces	NA	Apex Braces	NA

Purlins / Girts

Roof Purlin P1	C10015 Punched Flange: 50	Eave Purlin EP1	NC208-1.5 Nesting Channel (sult C200) Flange: 88
Roof Purlin Spacing	0.941m, 1.882m, 2.823m, 3.764m, 4.705m, 5.646m, 6.587m		

Bracing

Roof Bracing 50x1.2 Strap Bracing

Doors / Windows

Doors & Windows None

Cladding

Roof Cladding	M-Deck HI-Profile 0.42bmt 0.47 TCT	Roof Screws	Roof Screw - 12x50 HI Rib - Colour
Wall Cladding	None	Wall Screws	Wall Screw - 10-16x16mm - Colour

Barge / Gutter

Gutter	Square Gutter & 90mm PVC D-P	Down Pipe	90mm PVC Downpipe - 6m Length
Barge	120mm Custom Square/3-B Ridge HI-Rib Roof	Ridge Cap	397G-CO/TD 3 Brk .40 Ridge Cap C/B



I certify that the shed kit components listed below are structurally adequate for their purpose. This document takes precedence over selections from tables in the standard drawings.

[Handwritten Signature]

DWG-MT1

Bracing Calculations

Quote Details

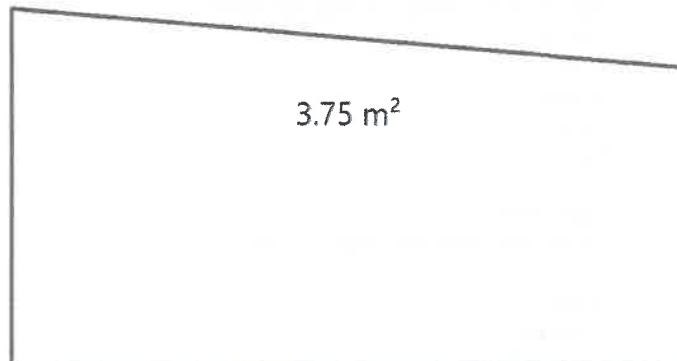
Quote No: 32121314024734

Quote Date: 13 Dec 2022

Customer: Lincoln Driver

Site: 41 Wharton Street Gayndah 4625

Effective End Wall Area



Building Details

Building Style	Carport OSP Flat Roof-500mm Offset Post Carport
Roof Style	Flat Roof
Roof Cladding	M-Deck HI-Profile 0.42bmt 0.47 TCT
Wall Cladding	
Design Wind Speed Vzu	43 m/s
Design Wind Pressure Qu	1.1 kPa
Wind Speed Certificate	mcH23050056JL



APPROVED PLANS

These plans are associated to the decision notice for application number

DA230035

	Main Building	Left Awning	Right Awning	Total
Length	12.000m			
Width	7.500m			7.500m
Wall Height	3.300m			
Average Roof Height	3.464m			
Roof Pitch	5.00°			
Bay Count	2			
Flushed Rafter Depth	0.235m			
End Portal Column Width	0.100m			

Drag

	Roof	Wall
Sheeting Drag Coefficient	0.04	0.04
Drag	0.00	0.00

Main Building

Leeward Wall Cpe	0.38	Cross Wind Bracing Requirements - 181121.xlsx - CrossWind Enclosed - Leeward Wall Cpe
Windward Wall Cpe	0.70	Long Wind Bracing Calculator 140311.xlsx
Cpt	1.10	Restricted Internal Pressure: Flat Roof
Enclosed End Wall Area	3.7 m ²	Restricted Internal Pressure: (Width / Cos(DegToRad(RoofPitch))) * Side Wall Skirting Depth) + (2 * Height * End Portal Column Width * WallCount)
Effective End Wall Area	3.7 m ²	Enclosed End Wall Area
End Wall Force	4.6 m ²	Effective End Wall Area * Cpt * Qu

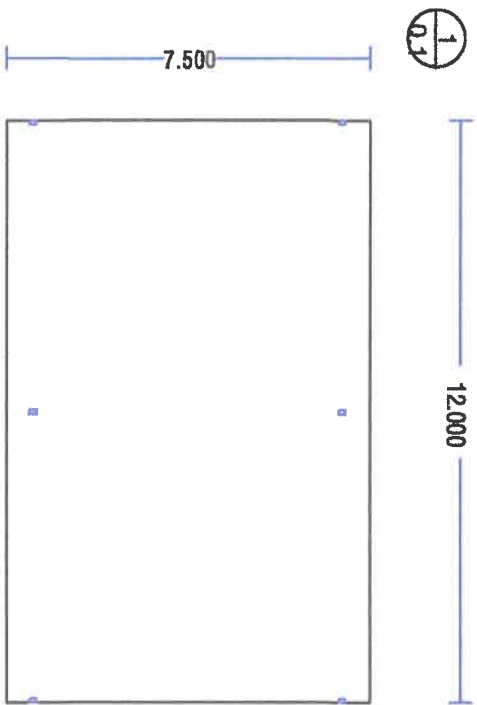
DWG-BC1

Wall Drag Force	0.00 kN	Length Factor = 0. Result = 0
Roof Drag Force	0.00 kN	Length Factor = 0. Result = 0
Side Wall Bracing Force Requirement	4.58 kN	Roof Drag Force + Wall Drag Force + End Wall Force
Side Wall Area	2.8 m ²	Length * Height
End Wall Bracing Force Requirement	3.79 kN	Side Wall Area * C _{pn} * Q _u

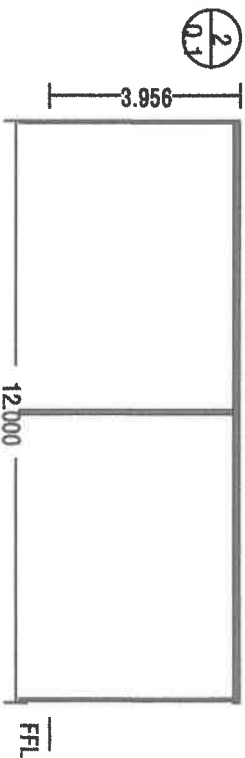


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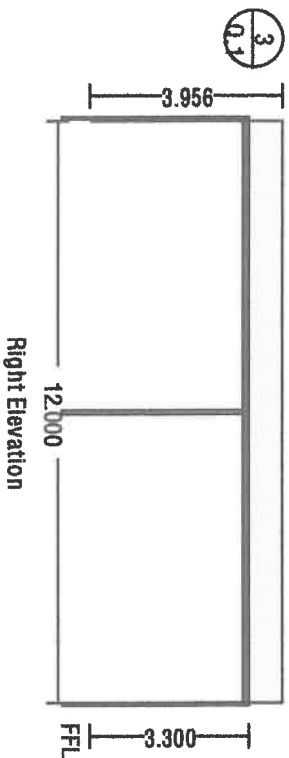
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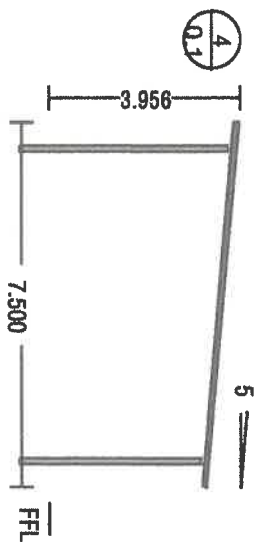
PLAN



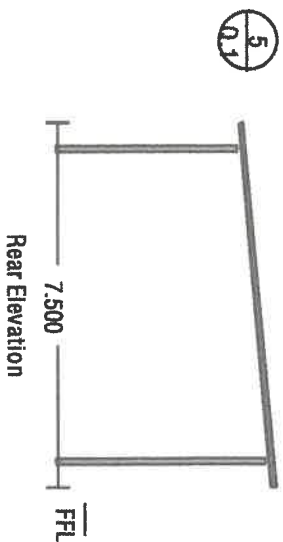
Left Elevation



Right Elevation



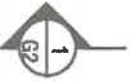
Front Elevation



Rear Elevation



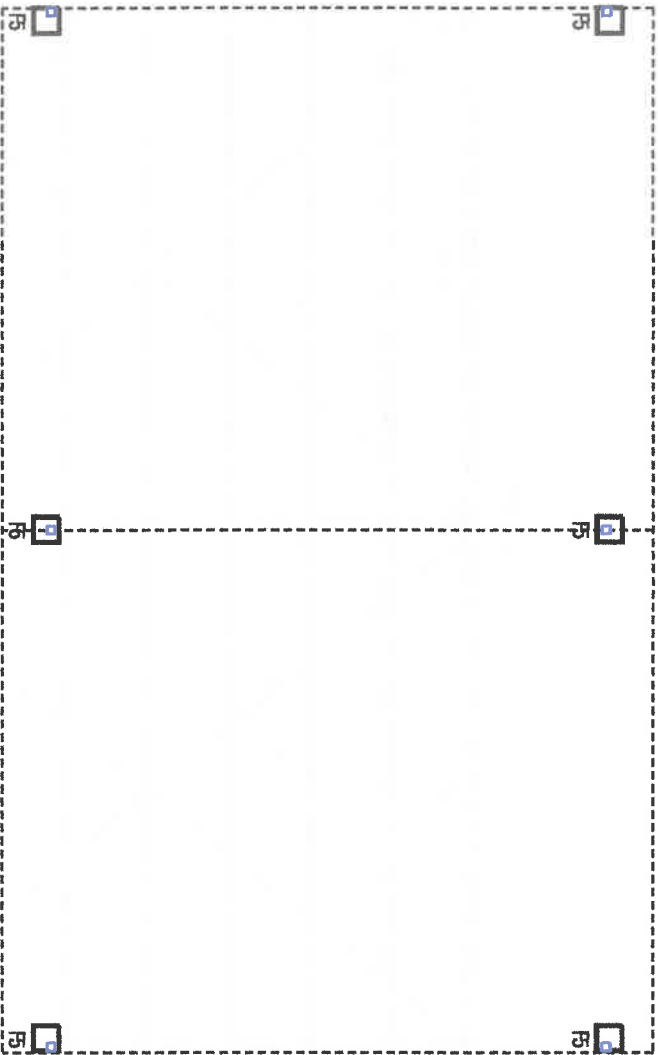
APPROVED PLANS
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DA230035



Rear
7.500

Right
6.000
12.000
6.000

Front



Refer to standard drawing SLAB



CLIENT

Capport OSP Flat Roof-500mm Offset Post Capport Vdes-49 m/s (Reg-B) 7.500 x 12.000 x 3.300
At 41 Wharton Street Gayndah 4625
For: Lincoln Driv ar
Approved by:

DRAWING

FP1 R# 3223M2224

MS

Footings View



APPROVED PLANS

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DA230035

Long Wind Bracing

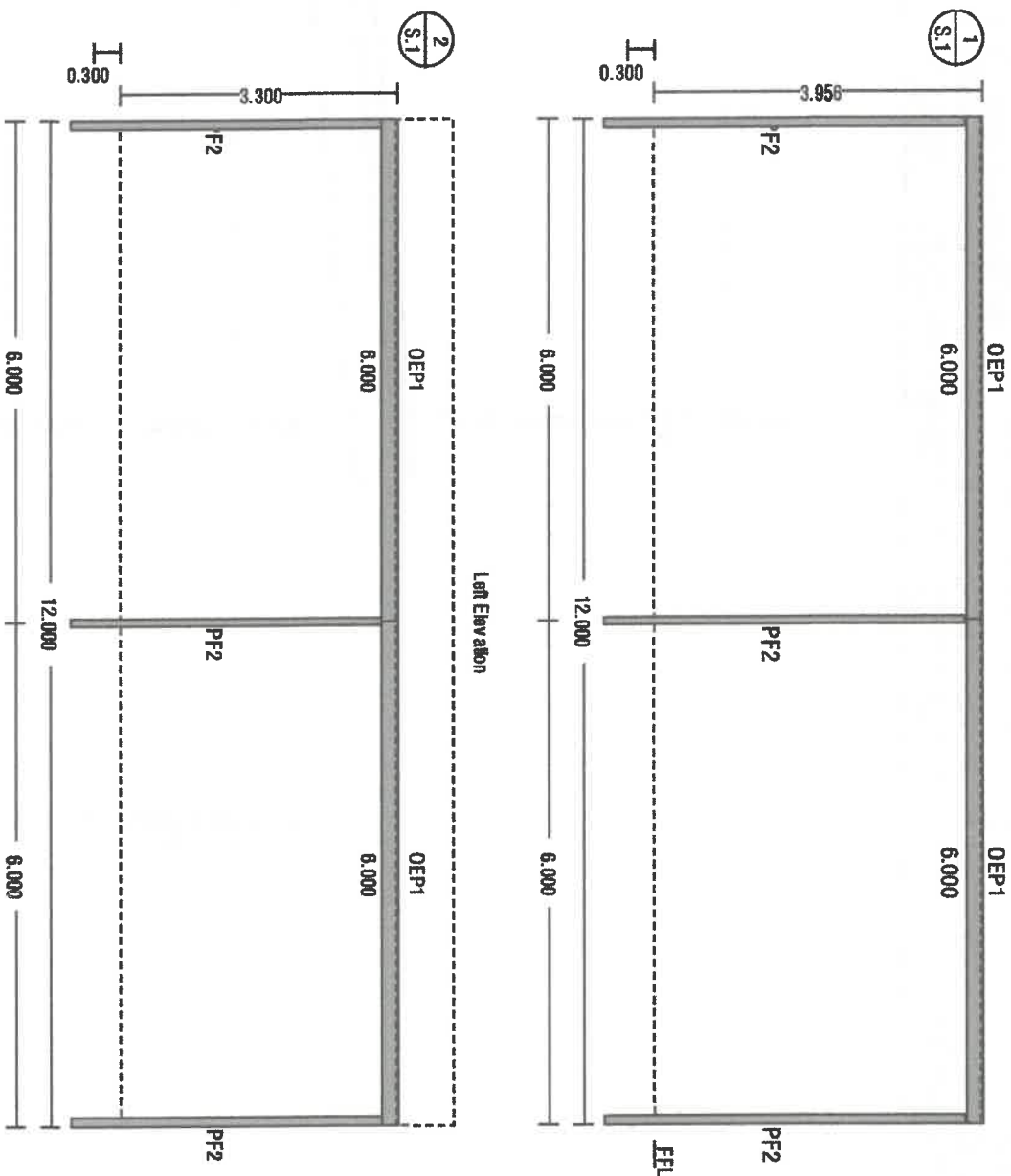
Bracing Required: 4.58 kN
Bracing Designed: 0.00 kN



APPROVED PLANS

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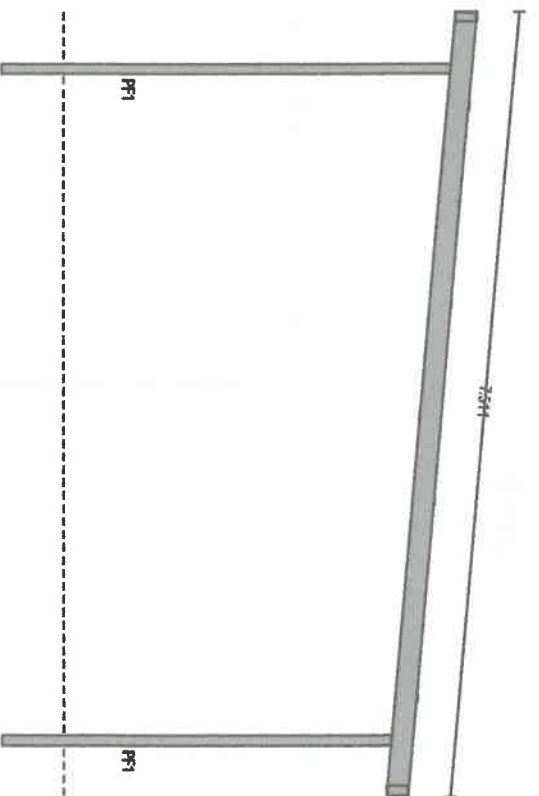
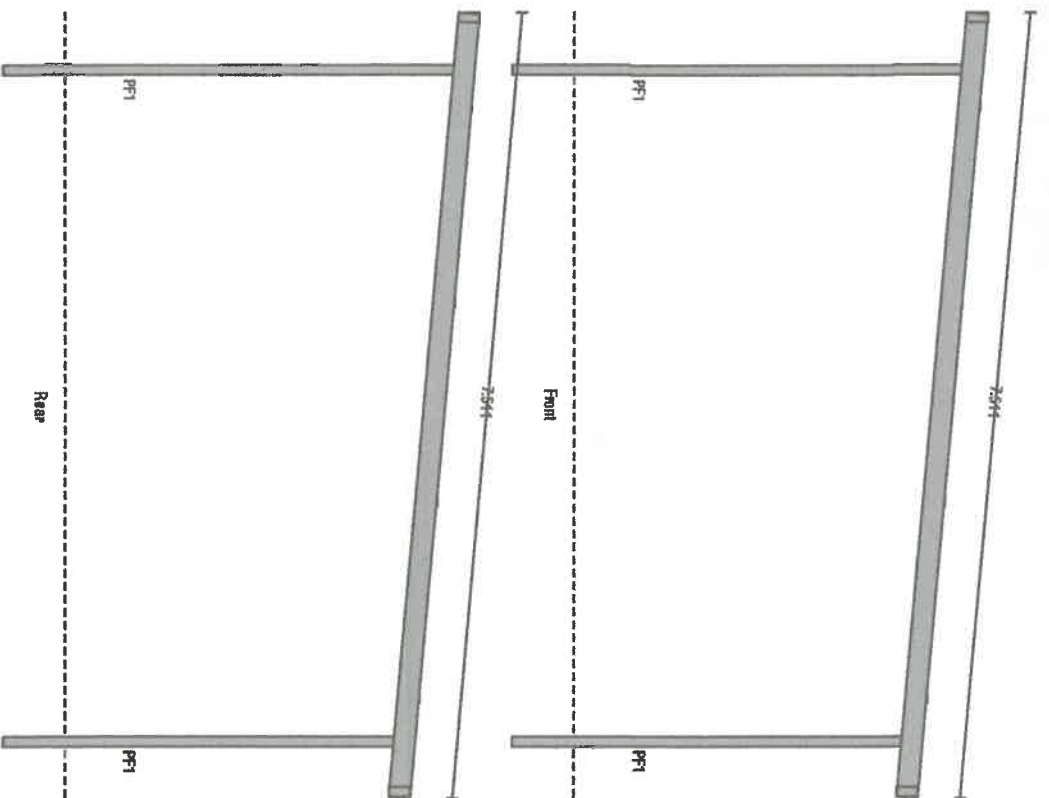
DA230035



CLIENT	
Carpent OSP Flat Roof 500mm Offset Post Carport Vdes=49 m/s (Reg-B) 7,500 x 12,000 x 3,300	
At: 41 Wharfedale Street Gayndah 4625	
For: Lincoln Driveway	
Approved by:	Date:

DRAWING	
SW1	Ref: 32121314024734
Side Wall	
NTS	





APPROVED PLANS

These plans are associated to the decision notice for application number

DA230035

CLIENT

DRAWING

EWI

Ref 32121314024734

MTS

Capport OSP Flat Roof=500mm Offset Post Capport Vides=49 m/s (Reg-B) 7.500 x 12.000 x 3.300
At: 41 Wharton Street Gay miah 4625

Approved by:

Date:

End Wall Frame

Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

