

3 August 2023

Joseph Hanssen
17 Golden Spur Street
EIDSVOLD QLD 4627

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

17 GOLDEN SPUR STREET, EIDSVOLD

(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 5 July 2023 The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	Joseph Hanssen
Applicant contact details:	17 Golden Spur Street EIDSVOLD QLD 4627
Email:	info@onetenmotorcycles.com.au
Phone:	
Mobile:	0409 896 007

Site details

Street address:	17 GOLDEN SPUR STREET, EIDSVOLD
Real property description:	4SP241995

Application details

Application No:	DA230037
Date of Decision	3 August 2023
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	3 x shipping containers

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger

Schedule 9 – Building work assessable against the *Building Act* Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact

Decision

Decision Details:

The North Burnett Regional Council advises the assessment manager that;

The development approval must be subject to stated development conditions set out in Attachment 1.

Conditions

This approval is subject to the conditions in Attachment 1.

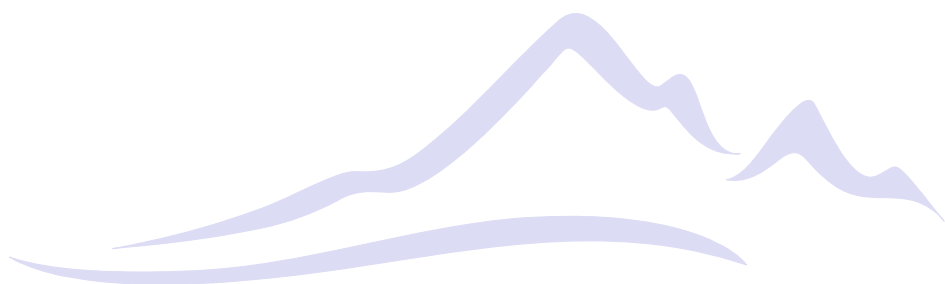
The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
	Vegetation by North Burnett Regional Council	03/08/23
	Site plan by J Hanssen	
	Setback Measurement Plan by J Hanssen	
	Image Container 3 by J Hanssen	
	Image Container 2 by J Hanssen	
	Image Container 1 by J Hanssen	



Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

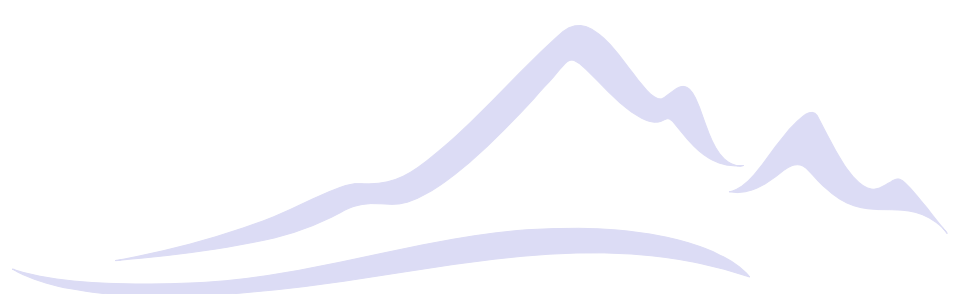
Yours faithfully

A handwritten signature in black ink, appearing to read 'for Kim Mahoney'.

Kim Mahoney

General Manager – Corporate and Community

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans



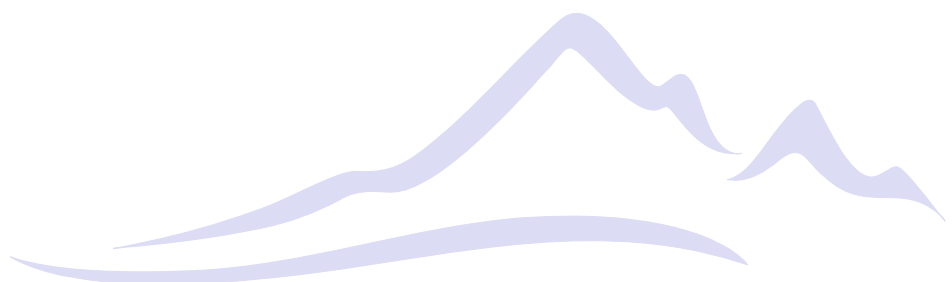
Attachment 1 – Conditions to be imposed by Concurrency Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The three (3) approved shipping containers must be sited from the rear property boundary, as follows <ul style="list-style-type: none"> shipping container 1 a minimum 1.5 metres, shipping container 2 a minimum 6 metres, and shipping container 3 a minimum of 13m with all setbacks measured from the outermost projection of the structure.
3.	The three (3) approved shipping containers must be sited from the northern side property boundary, as follows <ul style="list-style-type: none"> shipping container 1 a minimum 4 metres, shipping container 2 a minimum 4 metres, and shipping container 3 a minimum of 15m with all setbacks measured from the outermost projection of the structure.
4.	The three (3) approved shipping containers must be sited from the Golden Spur Street property boundary, as follows <ul style="list-style-type: none"> shipping container 1 a minimum 50 metres, shipping container 2 a minimum 47 metres, and shipping container 3 a minimum of 34m with all setbacks measured from the outermost projection of the structure.
5.	The three (3) approved shipping containers must be sited from the southern side property boundary, as follows <ul style="list-style-type: none"> shipping container 1 and 2 a minimum 30 metres, and shipping container 3 a minimum of 18m with all setbacks measured from the outermost projection of the structure.
6.	The floor area of the approved each shipping container must not exceed 14.5m ² , and combined area of 44m ² .
7.	The overall height of the three (3) approved shipping containers must not exceed 3.5 metres measured from natural ground level.
8.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
Use	
9.	The three (3) approved shipping containers is to be used for private/domestic purposes only. The approved structure must not be used as a separate domicile/dwelling or used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
10.	The three (3) approved shipping containers must not be used for habitable purposes.

Landscaping	
11.	Establish landscaping for screening purposes along the property boundaries as amended in red by Council on the endorsed site plan. Landscaping must consist of a minimum of one (1) tree and/or shrub per three (3) lineal metres, growing to a minimum height of four (4) metres.
12.	Maintain the new landscaping on the site to the satisfaction of the Concurrence Agency

Attachment 1B – Advice Notes

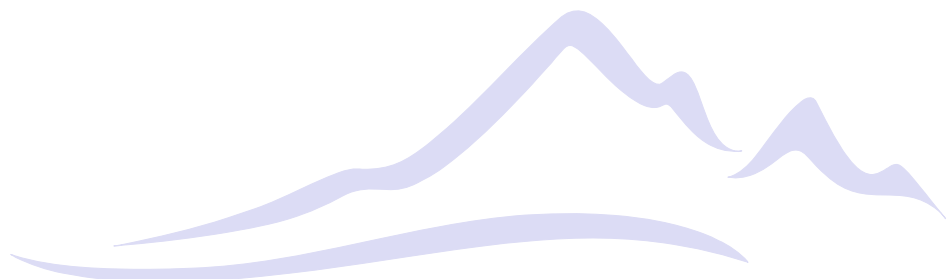
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Please note this amenity and aesthetics assessment pertains to the approval of a class 10 building only (defined as Domestic Carport, Shed and Garage (10a)). It is recommended that clarification from a Building Certifier be sought to ensure that an appropriate building classification is applied to align with the building size, purpose, use and intent of operations within the building.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

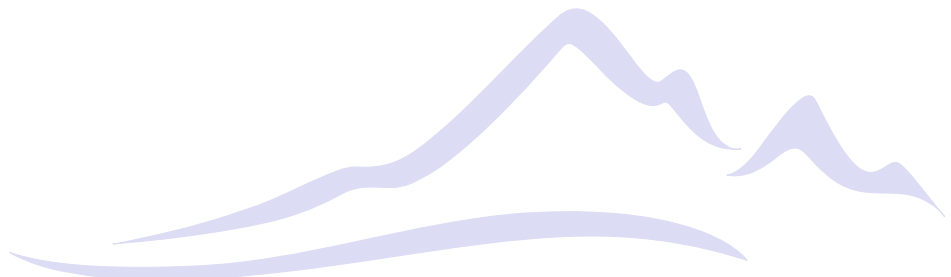
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.



Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.





8/3/2023

1:549

17 Golden Spur Street
EIDSVOLD
Vegetation

While every care is taken to ensure the accuracy of this data, the North Burnett Regional Council makes no representations or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibilities and all liabilities (including without limitation liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you may incur as a result of the data being inaccurate or incomplete in anyway and for any reason.

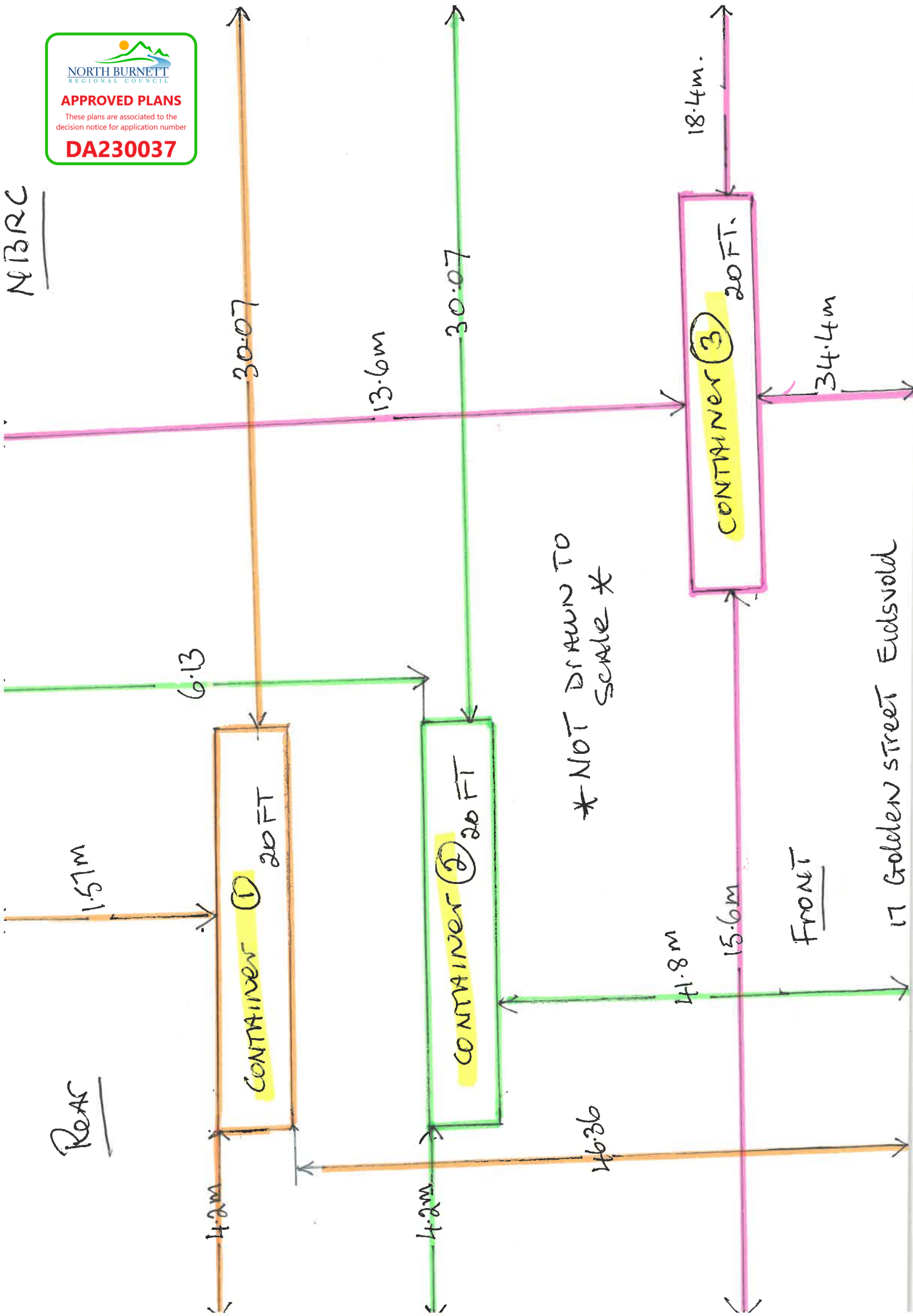




17 - Golden Spur Street Eidsvold

NBRC

Rear





Shipping Container 1



NORTH BURNETT
REGIONAL COUNCIL

APPROVED PLANS
These plans are associated to the
decision notice for application number

DA230037



Shipping Container 2



premier box
www.premierbox.com.au
CONTAINER
SALES AND HIRE
1800 601194



FOR REPAIR USE
CORTEN OR EQUIVALENT ONLY

MAX.GR.
TARE
NET
CU. CAP.

30.480	KGS
67.200	LBS
2.000	KGS
4.410	LBS
28.480	KGS
62.790	LBS
33.2	CU.M
1.172	CU.FT

Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

