

15 August 2023

Our Reference: DA230039

Dieta Salisbury
'Glenbrae'
110 Macks Road
MONTQ QLD 4630

Dear Sir / Madam

**RE: MINOR CHANGE APPLICATION FOR PIGGERY OFFICE AT 110 MACKS ROAD, MONTQ;
LAND DESCRIBED AS 125 ON RW143**

Thank you for your Minor Change Application for Piggery Office at 110 Macks Road, Montq; land described as 125RW143 lodged with Council on 17 March 2023.

Please find attached the Decision Notice for the above-mentioned development application.

Sections 71 and 72 of the Planning Act 2016 identifies when a development approval has effect and the development may start. In summary, a development approval generally has immediate effect, except when—

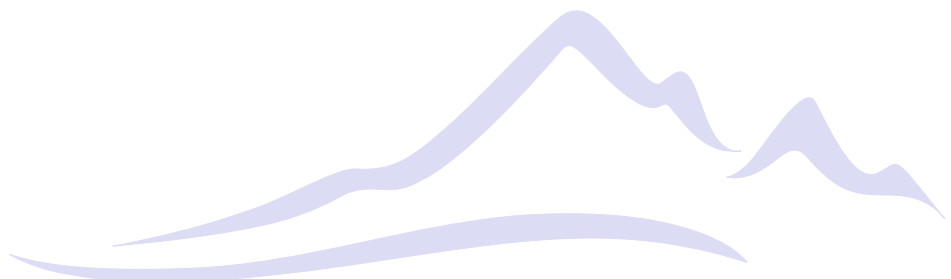
- if there is an appeal, after the appeal has ended;
- if there is no appeal but there was a submitter, all submitters have notified the Council that they will not appeal the decision, or when the last appeal period ends.

Please quote Council's application number: in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter or wish to schedule a meeting, please contact Council's Development Services team on telephone 1300 696 272.

Yours sincerely,

for 

Kim Mahoney
General Manager – Corporate and Community



Amended Decision Notice — Change Application

(Given under section 83 of the Planning Act 2016)

Thank you for your change application made under section 78 of the *Planning Act 2016* detailed below which was properly made on 17 July 2023. The North Burnett Regional Council has assessed your application and decided it as follows:

Location details

Street address: 110 Macks Road, Monto
Real property description: Lot 125 on RW143
Local government area: North Burnett Regional Council

Details of Original Approval

Application for Material change of use—Intensive Animal Industry (piggery expansion from 5394 to 12,500 SPU) & Prescribed Environmentally Relevant Activity 3(c) keeping more than 8000 SPU

Date of Approval: 2 September 2019
Application number: 62/17

Details of proposed development

Application number: DA230039
Date of decision: 15 August 2023
Decision details: North Burnett Regional Council has decided to:
Make the change. These amendments are set out in schedule 1.
Changes are in ***bold italics***.

The changes agreed to are:

- Update the approved plans in section 5 of the decision notice to refer to additions of a proposed site office (21m x 7.9m) in the southern complex of the premises.

Rights of appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions are included in Attachment 2.

Yours sincerely,



Kim Mahoney
General Manager – Corporate and Community

Schedule 1—Existing approval incorporating changes
Schedule 2—Appeal rights

Schedule 1 – Decision Notice incorporating approved changes

This Decision Notice includes changes approved on — 15 August 2023

Changes are in ***bold italics***

(Given under section 63 of the Planning Act 2016)

Thank you for your development application detailed below which was properly made on . The North Burnett Regional Council has assessed your application and decided it as follows:

1. Applicant's details

Name: Dieta Salisbury
 Postal Address: 'Glenbrae'
 110 Macks Road
 Email: ben@salisburyframing.com
 Phone No.: 07 4166 1646
 Mobile No.: 0499 661 646

2. Location details

Street address: 110 Macks Road, Monto
 Real property description: Lot 125 on RW143
 Local government area: North Burnett Regional Council

3. Decision

Application number: DA230039
 Date of decision: 15 August 2023
 Decision details: Approved in full with conditions. These conditions are set out in Attachment 1.

This application has not been deemed to be approved under section 331 of the *Sustainable Planning Act 2009* (SPA).

4. Details of proposed development

	<i>Sustainable Planning Regulation 2009, Schedule 3 reference</i>	Development Permit	Preliminary Approval
Making a material change of use assessable under the planning scheme, a temporary local planning instrument, a master plan or a preliminary approval to which SPA section 242 applies		<input checked="" type="checkbox"/>	<input type="checkbox"/>

	<i>Sustainable Planning Regulation 2009, Schedule 3 reference</i>	Development Permit	Preliminary Approval
Making a material change of use for an environmentally relevant activity	Part 1, table 2, item 1	<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. Approved plans and specifications

Copies of the following plans, specifications and/or drawings are enclosed.

Plan reference	Drawing/report title	Rev	Date
8494 Fig11	Proposed Property Aerial Plan	C	06/11/18
8494 Fig04	Surrounding Land Use and Sensitive Receptors Plan	B	07/11/18
8494 Fig12.1	Proposed Southern Complex Plan – Stage 1	E	04/06/19
8494 Fig12.2	Proposed Southern Complex Plan – Stage 2	A	04/06/19
8494 Fig13	Proposed Northern Complex Plan	D	04/06/19
-	Office Amenities Building – Site layout plan	-	-
BM7610SK01	Office Amenities Building – Plan layout	-	17/05/2022
BM7610SK02	Office Amenities Building – Roof plan	-	17/05/2022
BM7610SK03	Office Amenities Building – A & C axis elevation view	-	17/05/2022
BM7610SK04	Office Amenities Building – 1 & 5 axis elevation view 1-1 section view	-	17/05/2022

6. Referral Agencies

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
<input checked="" type="checkbox"/> Schedule 7, Table 2, item 1 of the <i>Sustainable Planning Regulation 2009</i> —Environmentally relevant activities A material change of use for an environmentally relevant activity made assessable under schedule 3, part 1, table 2, item 1	Department of State Development, Manufacturing, Infrastructure and Planning (DSDMIP)	Concurrence agency	Online via the eDA / MyDAS system (refer note below) or via email to— WBBSARA@dsdmip.qld.gov.au For assistance phone: 07 4331 5614
<input checked="" type="checkbox"/> Schedule 7, Table 3, item 1 of the <i>Sustainable Planning Regulation 2009</i> —State-controlled road Making a material change of use of premises, other than an excluded	Department of State Development, Manufacturing, Infrastructure and	Concurrence agency	Online via the MyDAS system (refer note below) or via email to—

For an application involving	Name of referral agency	Advice agency or concurrence agency	Address
material change of use, if any part of the land— (a) is within 25m of a State-controlled road; or (b) is future State-controlled road; or abuts a road that intersects with a State-controlled road within 100m of the land	Planning (DSDMIP)		WBBSARA@dsdmip.qld.gov.au For assistance phone: 07 4331 5614
<input checked="" type="checkbox"/> Schedule 7, Table 3, item 2 of the <i>Sustainable Planning Regulation 2009</i> —Development impacting on State transport infrastructure An aspect of development identified in Schedule 9 that— (a) is for the purpose mentioned in schedule 9, column 1; and (b) meets or exceeds the threshold— (i) For development in LGA population 1—mentioned in schedule 9, column 2 for the purpose; or for development in LGA population 2—mentioned in schedule 9, column 3 for the purpose.	Department of State Development, Manufacturing, Infrastructure and Planning (DSDMIP)	Concurrence agency	Online via the MyDAS system (refer note below) or via email to— WBBSARA@dsdmip.qld.gov.au For assistance phone: 07 4331 5614
<input checked="" type="checkbox"/> Schedule 7, Table 3, item 15A of the <i>Sustainable Planning Regulation 2009</i> —A material change of use of premises, other than an excluded material change of use, if any part of the land is— (a) within 25m of a railway or future railway land; or future railway land.	Department of State Development, Manufacturing, Infrastructure and Planning (DSDMIP)	Concurrence agency	Online via the MyDAS system (refer note below) or via email to— WBBSARA@dsdmip.qld.gov.au For assistance phone: 07 4331 5614

A copy of DSDMIP's Concurrence agency response—(with condition) is included under **Attachment 3**.

7. Properly made submissions

Properly made submissions were received from the following principal submitters:

Name of principal submitter	Residential or Business Address	Electronic Address
Michael Riddell	2 Edison Street, Monto	

Not properly made submissions were also received from the following submitters:

Name of principal submitter	Residential or Business Address	Electronic Address
Carmel King	Kalpowar	

8. Further development permits

The following development permits and/or compliance permits are necessary to allow the development to be carried out:

- All Operational Work
- All Building Work

9. Conflict with a relevant instrument and reasons for the decision despite the conflict

The decision is not considered to conflict with a relevant instrument.

10. Conditions about infrastructure

No conditions about infrastructure have been imposed under Chapter 8 of the SPA.

11. When approval lapses if development not started

Pursuant to section 341 of the SPA, this approval will lapse four (4) years from the date the approval takes effect unless the relevant period is extended.

12. Rights of appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions are included in Attachment 2.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

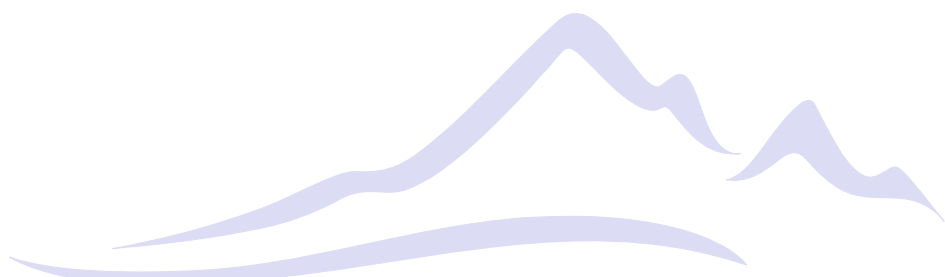
Yours faithfully

for 

Kim Mahoney

General Manager – Corporate and Community

Enc: Attachment 1-conditions imposed by assessment manager
Attachment 2-approved plans, drawings & specifications
Attachment 3-conditions imposed by concurrence agency/s
Attachment 4-appeal rights



Attachment 1 – Conditions Imposed by Assessment Manager

General

- 1) Carry out the approved development generally in accordance with the documents identified in section 2 “Approved plans, drawings and specifications” of the decision notice approval, except as modified by the conditions of this approval.
- 2) Carry out the approved development in accordance with the following unless modified by the conditions of this approval—
 - a) DSDMIP’s Concurrence agency response—(with condition) dated 20 June 2019 including Department of Agriculture and Fisheries’ Permit—Environmental authority Permit number: 2019-09 dated 19 June 2019;
 - b) Premise Agriculture’s “Environmental Assessment and Environmental Management Plan” (16TOO-0098/1802794 Rev: B).
- 3) Where there is any conflict between conditions of this approval and details shown on the approved plans under Condition 1, the conditions prevail.
- 4) Exercise the approval and complete all associated works, including the installation or relocation of infrastructure or services, at no cost to Council.
- 5) Comply with all of the conditions of this development permit prior to the commencement of the use, and maintain compliance whilst the use continues.

Extent of approved use

- 6) Do not exceed 8000 SPU in the northern complex or 4500 SPU in the southern complex.

Amenity

- 7) Prior to stocking the northern piggery complex with more than 2700 SPU the following must take place—
 - a) all liquid waste containment structures used for the storage of piggery effluent from the northern piggery sheds are to be enclosed or covered with an impermeable cover at all times while in use; and
 - b) any effluent that is transferred from the northern site to the liquid waste containment structures located at the southern site must be conveyed in a manner that minimises the risk of contaminants causing environmental harm.
- 8) Fully contain any storage and transfer of effluent.
- 9) Establish a 20m wide vegetative/landscaping buffer to the north of the northern complex and to the south of the southern complex in accordance with Premise’s *Proposed Southern Complex Plan—Stage 1 (8494 Fig12.1 Rev E)* and *Proposed Northern Complex Plan (8494 Fig13 Rev D)*. Complete the buffer to the southern complex in Stage 1.
- 10) Do not use any plant species identified as unacceptable for landscaping by Table SC6.5.5.1 of Planning scheme policy “SC6.5 Landscaping policy” for landscape screening of the complexes. This includes *Duranta erecta*.

Biosecurity

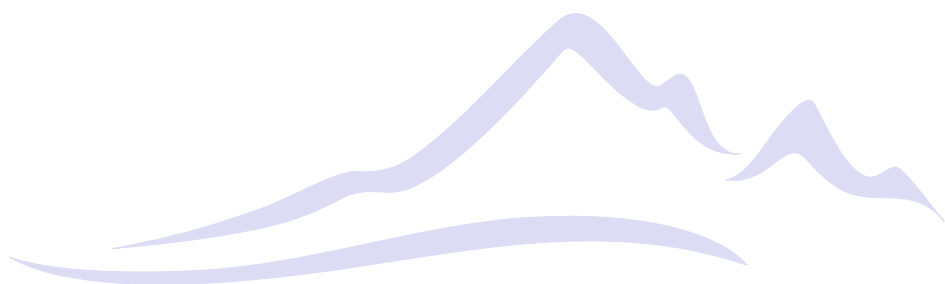
- 11) Prior to commencing the use of Stage 1 extension as shown on the approved plans, submit for Council's approval a site-based biosecurity plan. Such plan is to detail what restricted matter under the *Biosecurity Act 2014* the plan relates to, the location of the restricted matter on the site, identifies invasive species pathways (i.e. livestock transport and feed), implementation of periodic surveillance program and what other actions would be undertaken to manage the restricted matter before, during and after the development.

Amalgamation

- 12) Lodge for registration a survey plan amalgamating Lots 125, 126, 127 and 128 on RW143 and Lot 124 on RP224848 into one lot.

Advice to the applicant

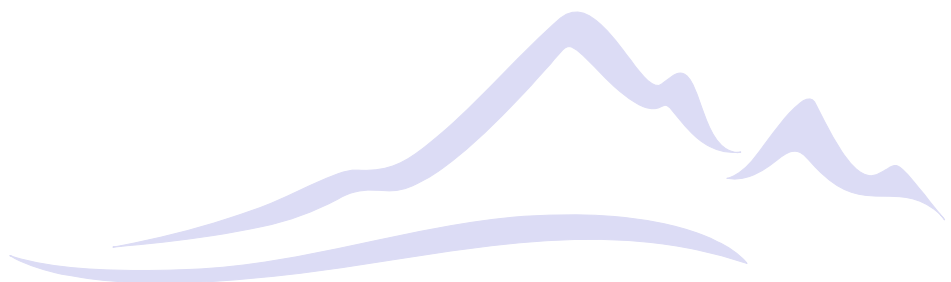
- Carry out the approved development only when a current and relevant Environmental authority (or statutory equivalent) is also held for the applicable Environmentally relevant activity.
- Carry out the approved development only when a current and relevant Registrable Biosecurity Entity (or statutory equivalent) is also held for the keeping of the applicable number of pigs.
- Carry out the approved development in compliance with the *Biosecurity Act 2014*. The Act provides comprehensive biosecurity measures to safeguard our economy, agricultural and tourism industries, environment and way of life, from pests (e.g. wild dogs and weeds), diseases (e.g. foot-and-mouth disease) and contaminants (e.g. lead on grazing land). The Act applies a general biosecurity obligation to take all reasonable and practical measures to prevent or minimise a biosecurity risk.
- Pay to Council all outstanding rates, charges or any expenses levied by Council over the land.
- This development approval does not authorise any activity that may harm Aboriginal cultural heritage. Under the *Aboriginal Cultural Heritage Act 2003* you have a duty of care in relation to such heritage. Section 23(1) provides that "A person who carries out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal cultural heritage." Council does not warrant that the approved development avoids affecting Aboriginal cultural heritage. It may therefore be prudent for you to carry out searches, consultation, or a cultural heritage assessment to ascertain the presence or otherwise of Aboriginal cultural heritage. The Act and the associated duty of care guidelines explain your obligations in more detail and should be consulted before proceeding.

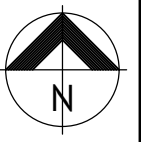


Attachment 2 – Approved Plans






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Please refer to the following pages for approved plans.



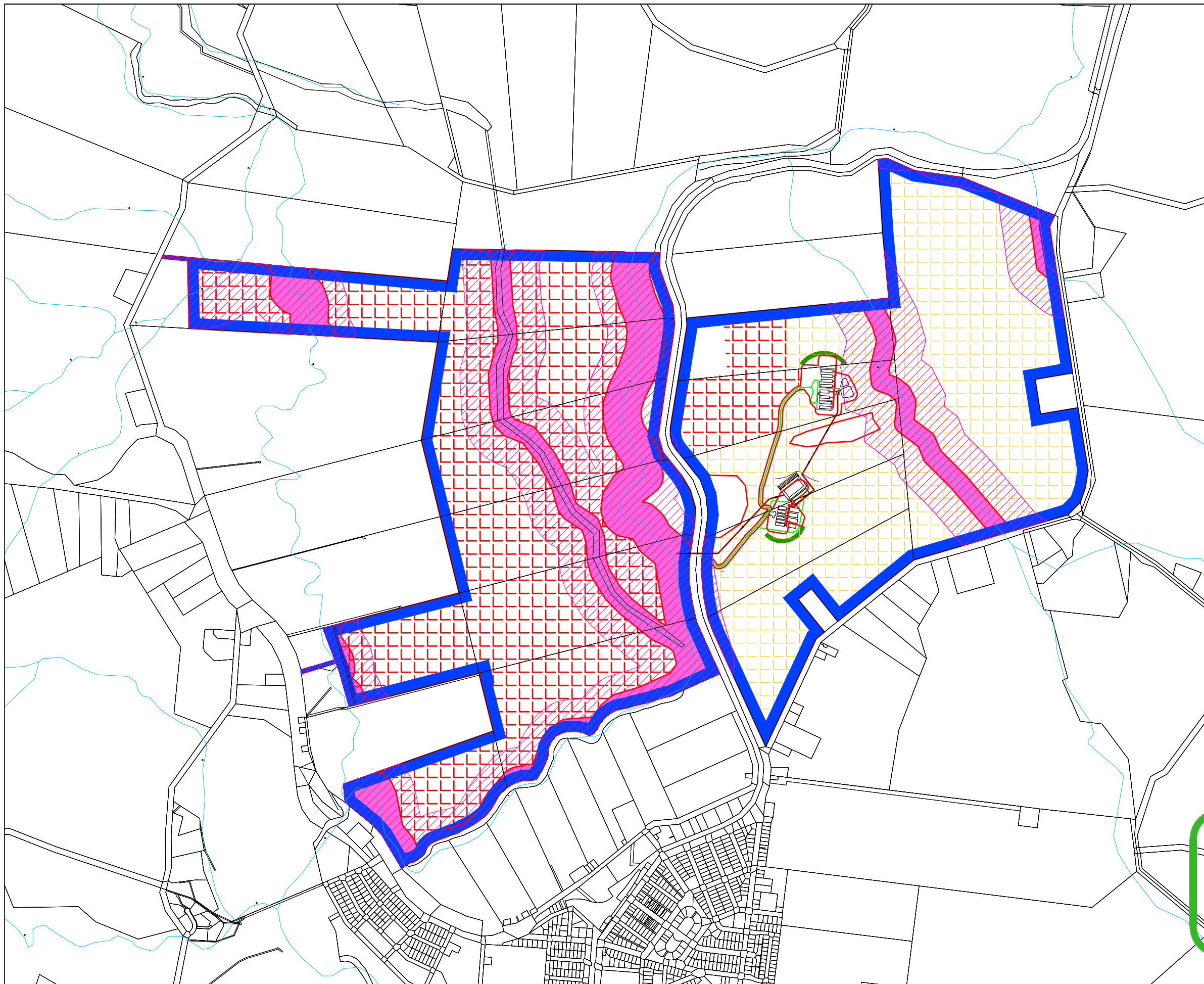


LEGEND

-  PROPOSED SOLID WASTE REUSE AREA (243ha)
-  PROPOSED LIQUID WASTE REUSE AREA (288ha)
-  REUSE BUFFER TO WATERCOURSE (100m) & DRAINAGE LINE (50m)
-  REUSE BUFFER TO PROPERTY BOUNDARY (50m)
-  IRRIGATED EFFLUENT RETICULATION

NOTES:

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APPROVED PLAN
REFERRED TO IN DECISION NOTICE

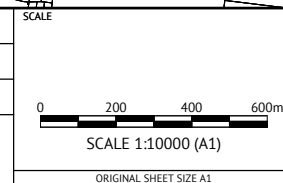
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
04/06/19	C	REVISED LAYOUT	MRN	MRN
06/11/18	B	REVISED LAYOUT	MRN	MRN
23/02/17	A	ORIGINAL ISSUE	MRN	MRN



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LEVEL 2, UNIT 2
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TOOWOOMBA, QLD 4350
PH: (07) 4632 8230
WEB: www.premise.com.au

DESIGNED
MML
CHECKED
MRN
PROJECT MANAGER
MRN
ENGINEERING CERTIFICATION



CLIENT
RG & DL SALISBURY

PROJECT
DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION

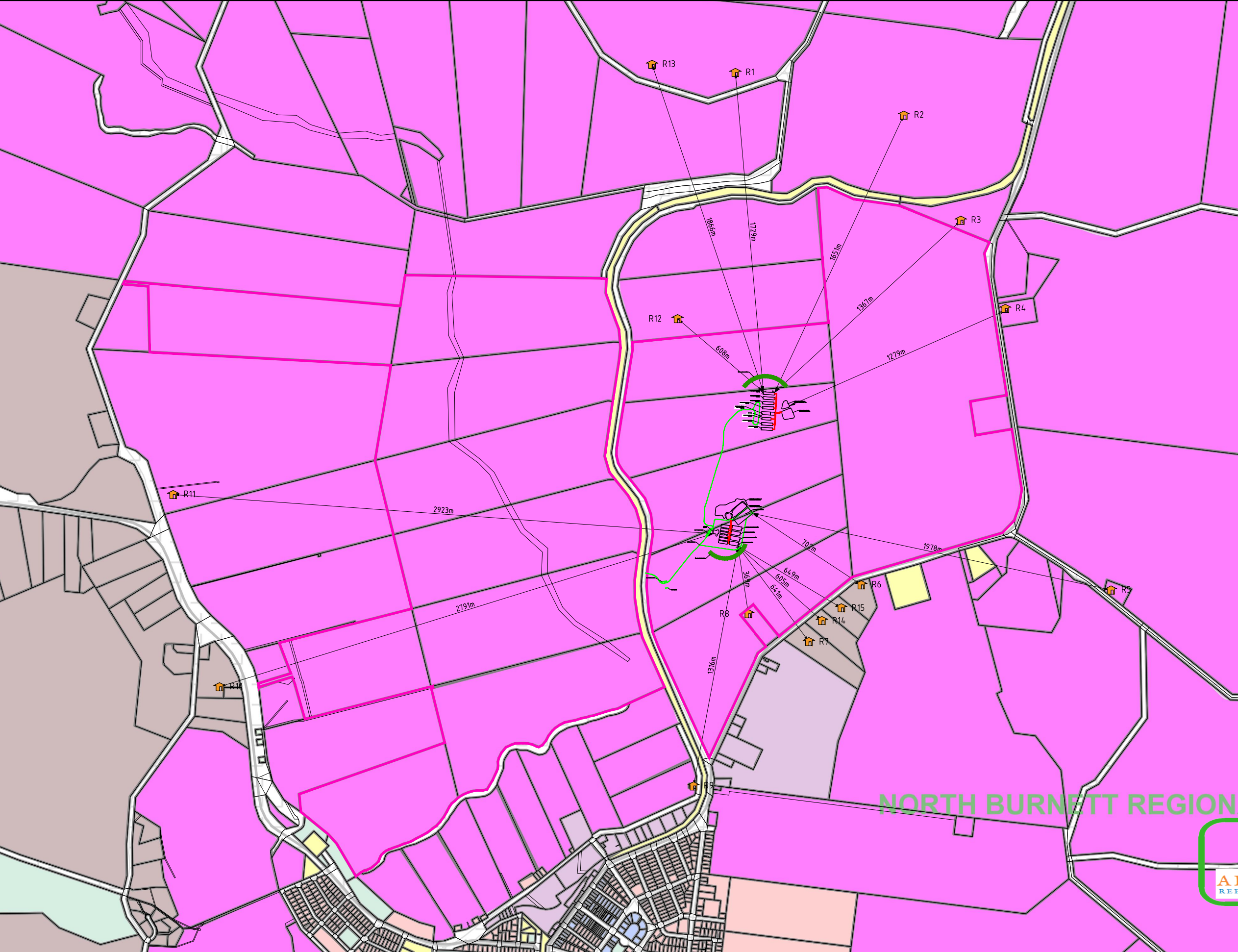
LOCATION
MS 448 MONTA QLD 4630

SHEET TITLE
PROPOSED PROPERTY AERIAL PLAN

JOB CODE
8494

SHEET NUMBER
FIG11




REV
C

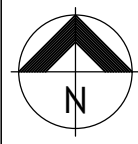


- LEGEND:
- RURAL DWELLING SENSITIVE RECEPTOR LOCATION
 - Rural - Conservation Precinct
 - Intensive Agricultural Precinct
 - Zone_Layer
 - Rural
 - Recreation and open space
 - Community purposes
 - Rural residential
 - Township
 - Industry
 - General residential
 - Centre
 - Rural Residential

- NOTES:
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						TOOWOOMBA OFFICE FLOOR 2, UNIT 2, 128 MARGARET STREET PO BOX 2175 TOOWOOMBA, QLD 4350 PH: (07) 4632 8230		 FSA CONSULTING PART OF  OZUDP		<table><tr><td>DESIGNED</td><td><i>TCG</i></td></tr><tr><td>DRAWN</td><td><i>TCG</i></td></tr><tr><td>CHECKED</td><td><i>MRN</i></td></tr><tr><td>DATE</td><td><i>07/11/18</i></td></tr><tr><td>DATE</td><td><i>24/01/17</i></td></tr></table>		DESIGNED	<i>TCG</i>	DRAWN	<i>TCG</i>	CHECKED	<i>MRN</i>	DATE	<i>07/11/18</i>	DATE	<i>24/01/17</i>	<table><tr><td>APPROVED</td><td>DATE</td></tr><tr><td></td><td><i>07/11/18</i></td></tr></table> <div> SCALE 1:10000 (A1)</div>		APPROVED	DATE		<i>07/11/18</i>	CLIENT RG & DL SALISBURY		PROJECT DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION LOCATION MS 448, MONTO, QLD 4630 SHEET TITLE SURROUNDING LAND USE AND SENSITIVE RECEPTORS PLAN				JOB CODE: 8494 SHEET NUMBER: FIG04 REV: B ©Copyright FORM E027 10 AUG 2006	
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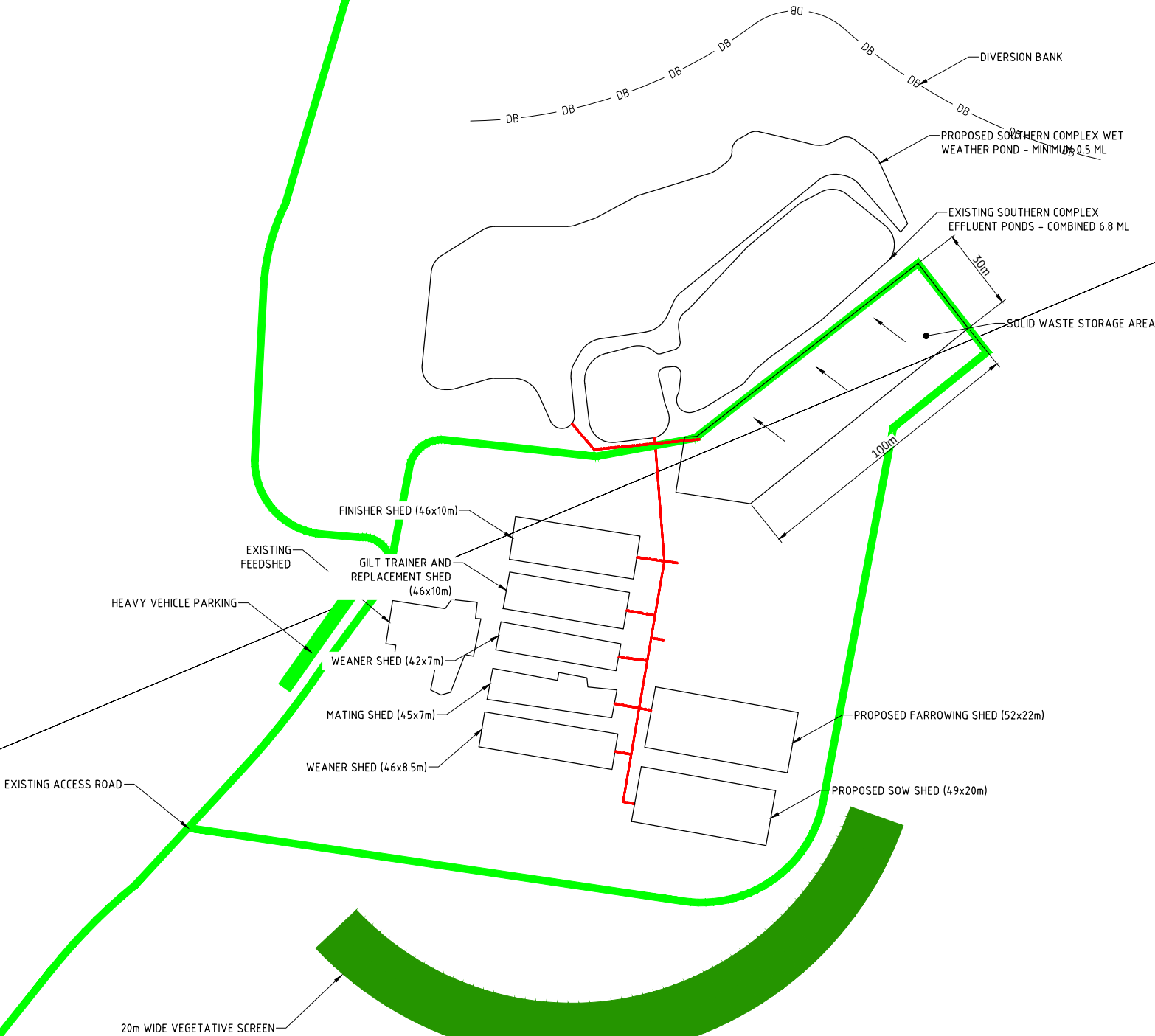


LEGEND:

- EFFLUENT DRAINAGE ROUTES
— ROAD

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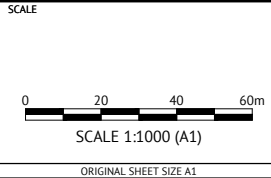
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
04/06/19	E	REVISED LAYOUT - ISSUED FOR INFORMATION		MRN
19/12/18	D	SUMP ADDED TO SOLID WASTE AREA - ISSUED FOR INFORMATION		MRN
06/11/18	C	REVISED LAYOUT		MRN
19/05/17	B	RFI AMENDMENTS		MRN
23/02/17	A	ORIGINAL ISSUE		MRN



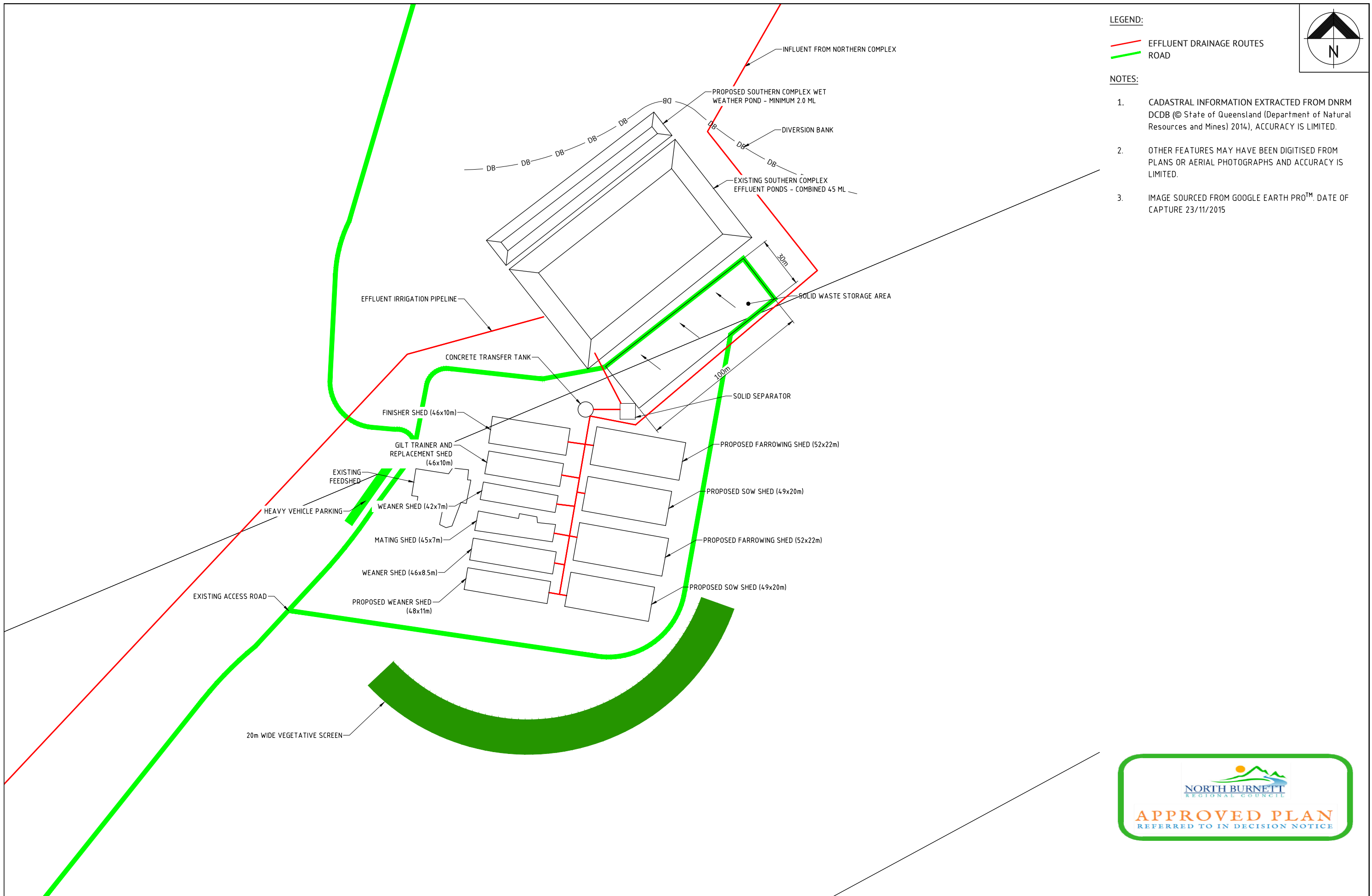
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DESIGNED	MML
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ENGINEERING CERTIFICATION	



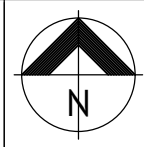
CLIENT	RG & DL SALISBURY
PROJECT	DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION
LOCATION	MS448 MONTO QLD 4630
SHEET TITLE	PROPOSED SOUTHERN COMPLEX PLAN - STAGE 1

JOB CODE	8494
SHEET NUMBER	FIG12.1
REV	E



LEGEND:

- EFFLUENT DRAINAGE ROUTES
- ROAD




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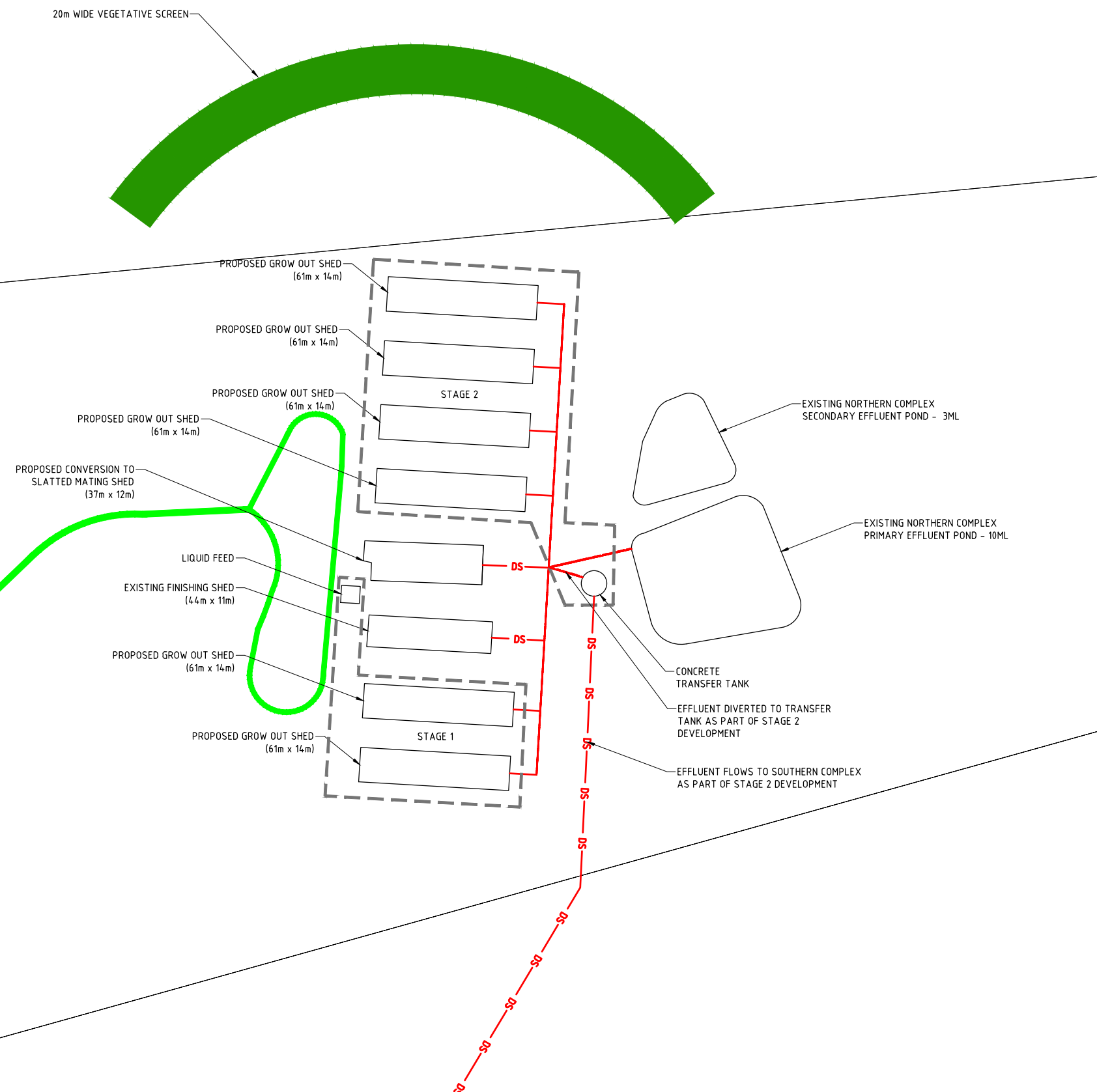


LEGEND:

- EFFLUENT DRAINAGE ROUTES
 ROAD
 STAGE BOUNDARY

NOTES:

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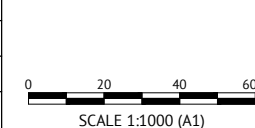
PRELIMINARY - NOT FOR CONSTRUCTION

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DESIGNED	MML
CHECKED	MRN
PROJECT MANAGER	MRN
ENGINEERING CERTIFICATION	

SCALE



ORIGINAL SHEET SIZE A1

CLIENT	
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RG & DL SALISBURY

PROJECT DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION

LOCATION **MS 448 MONTQ QLD 4630**

SHEET TITLE **PROPOSED NORTHERN COMPLEX PLAN**

JOB CODE

8494

SHEET NUMBER

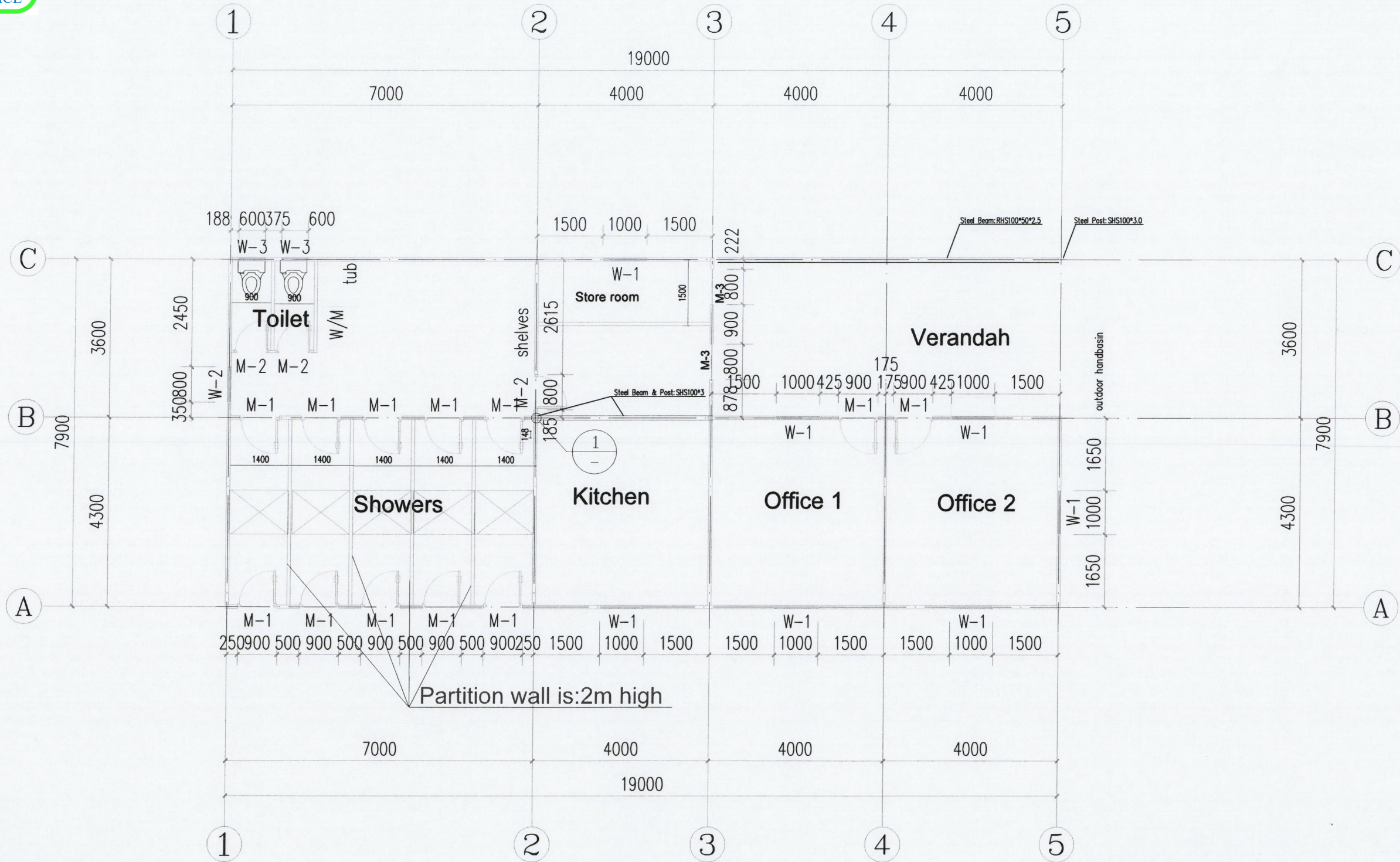
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FIG13

D

Office Amenities Building – Site layout plan





Window & Door List

Name	Mark	Size (mm)	Qty.
Door	D-1	900*2100	12
	D-2	800*2100	3
	D-3	800*2100	2
Window	W-1	1000*1000	7
	W-2	800*1100	1
	W-3	600*600	2

Plan Layout

1:100

Sketch # BM7610SK01

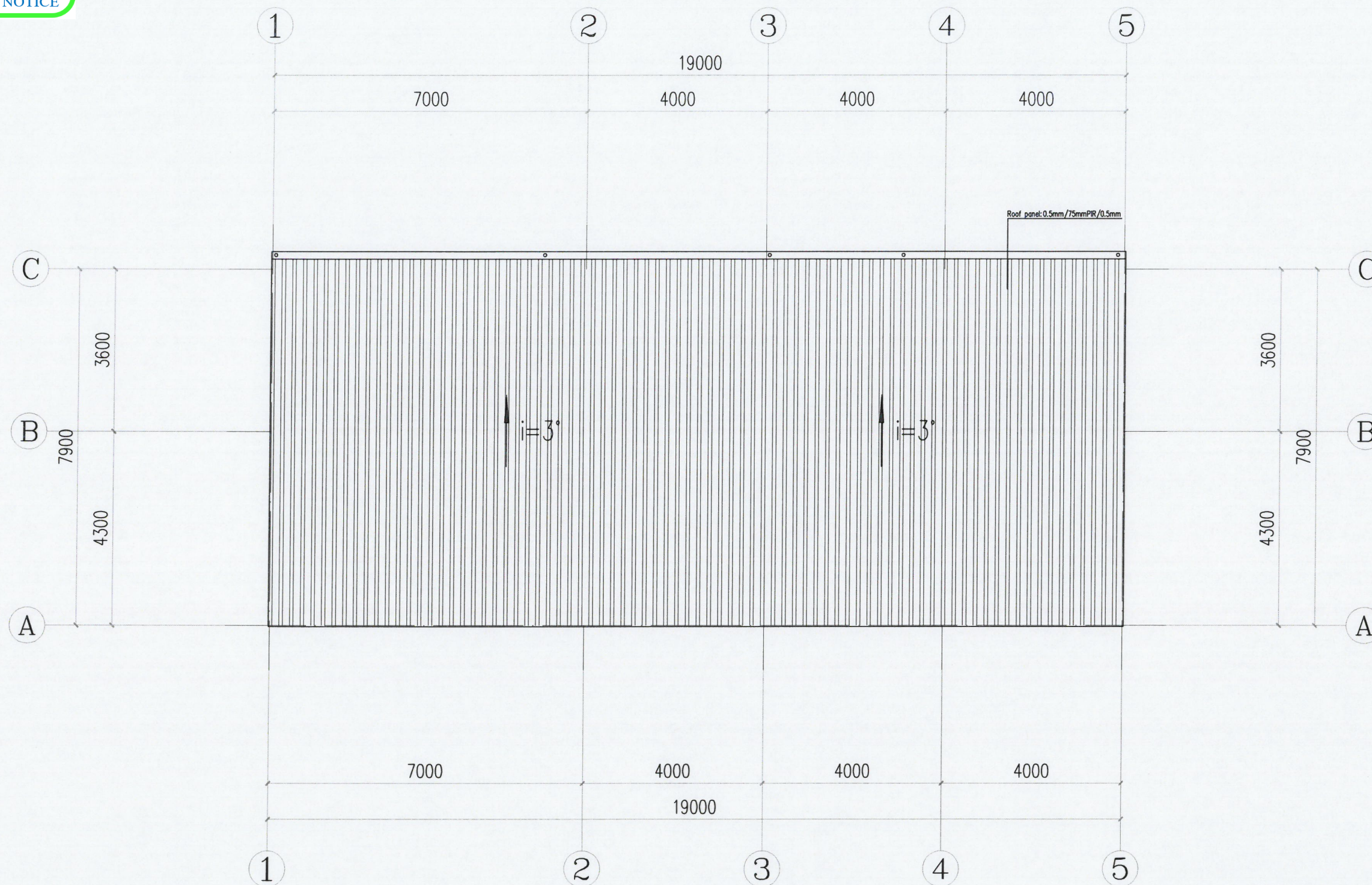
Signed: 

Date: 17/05/2022

Name: Stephen Strachan

RPEQ No: 2968

Office Amenities Building
Plan Layout
Sheet Number:01



Roof Plan

1:100

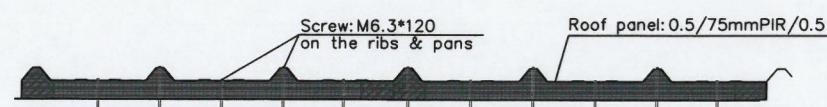
Sketch # BM7610SK02

Signed: *Stephen Strachan* Date: 17/05/2022
Name: Stephen Strachan RPEQ No: 2968

Office Amenities Building

Roof Plan

Sheet Number:02

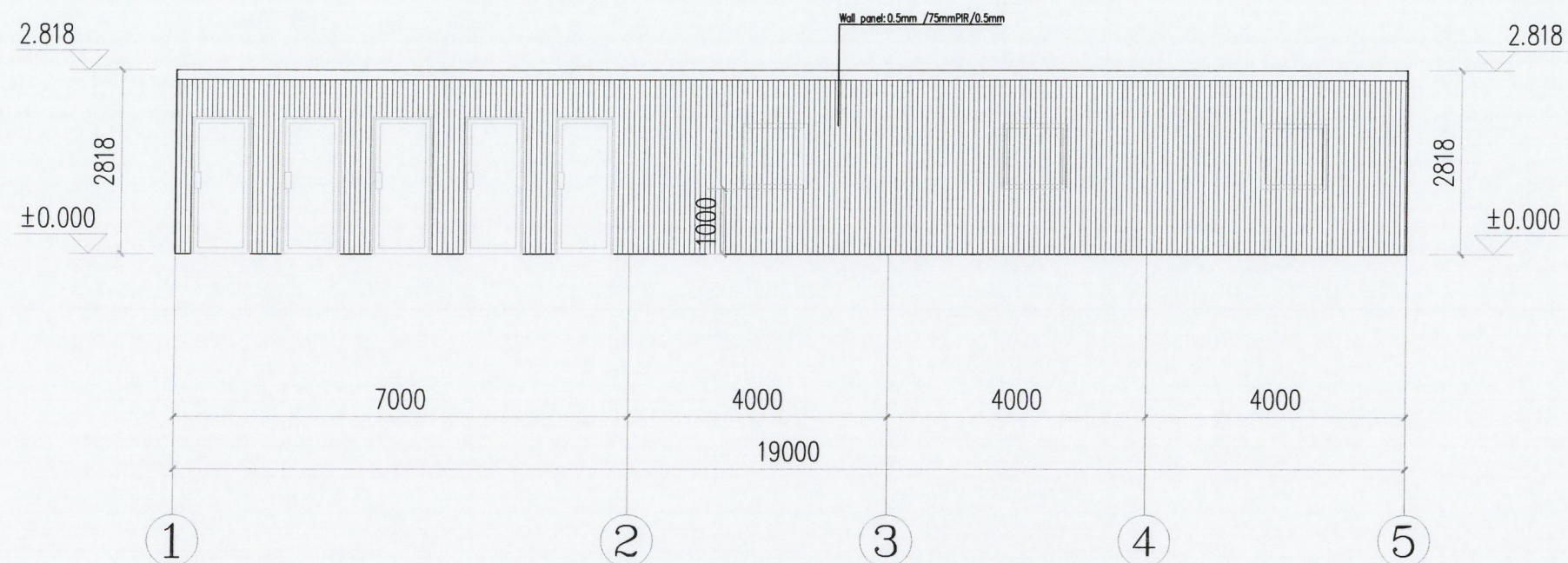


Roof Panel Installation Details



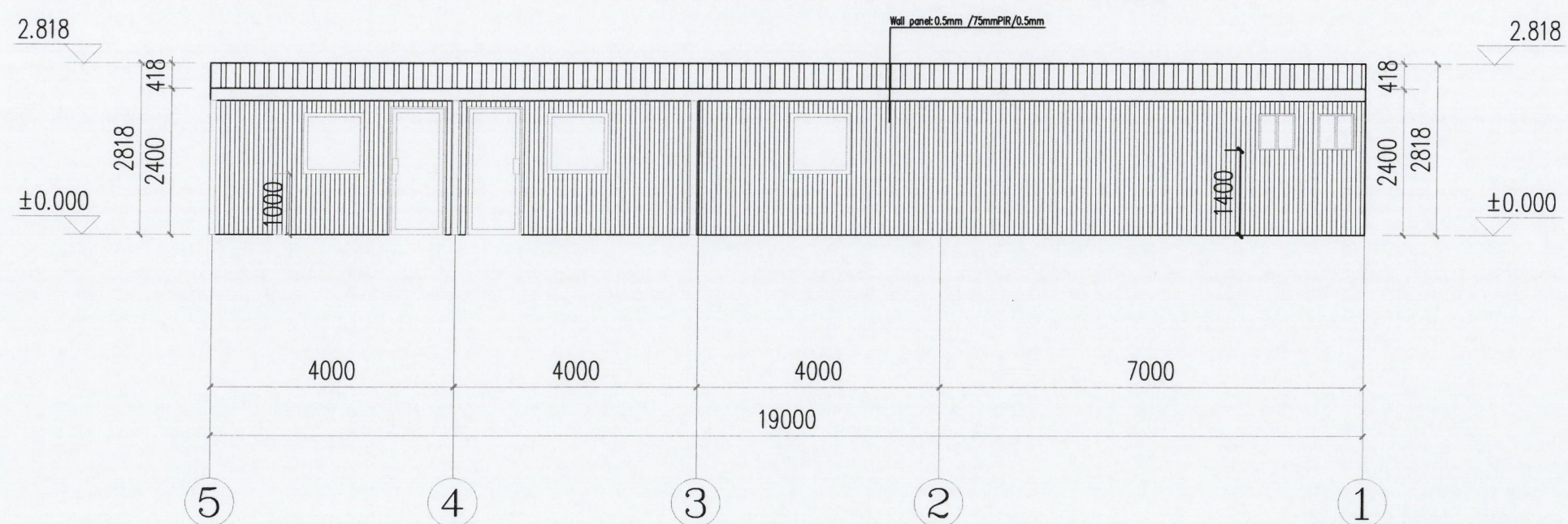
APPROVED PLAN
REFERRED TO IN DECISION NOTICE

BM7610SK03



A Axis Elevation View

1:100



C Axis Elevation View

1:100

Sketch # BM7610SK03

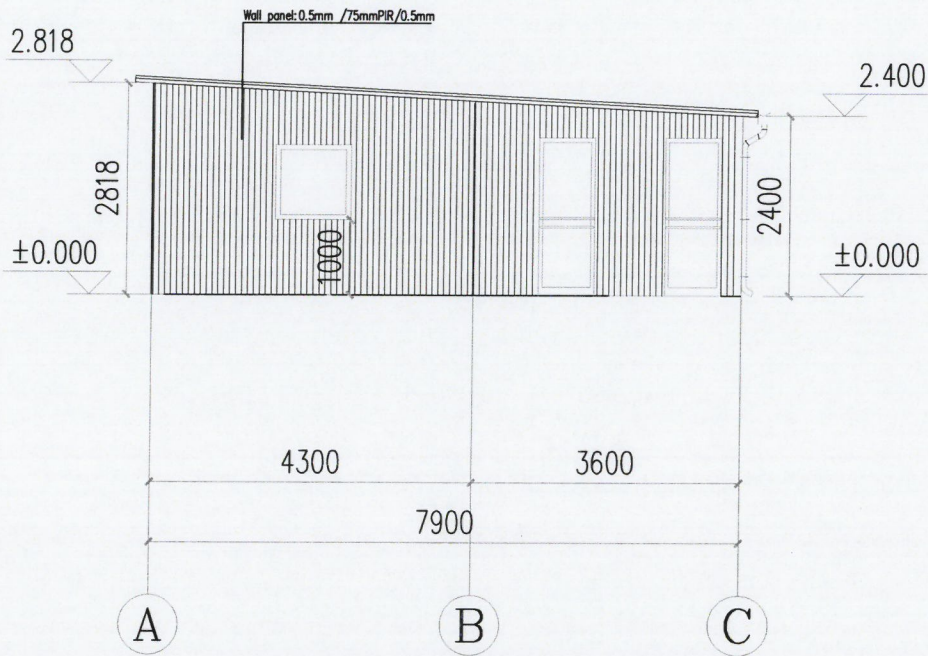
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Name: Stephen Strachan

Date: 17/05/2022
RPEQ No: 2968

Office Amenities Building

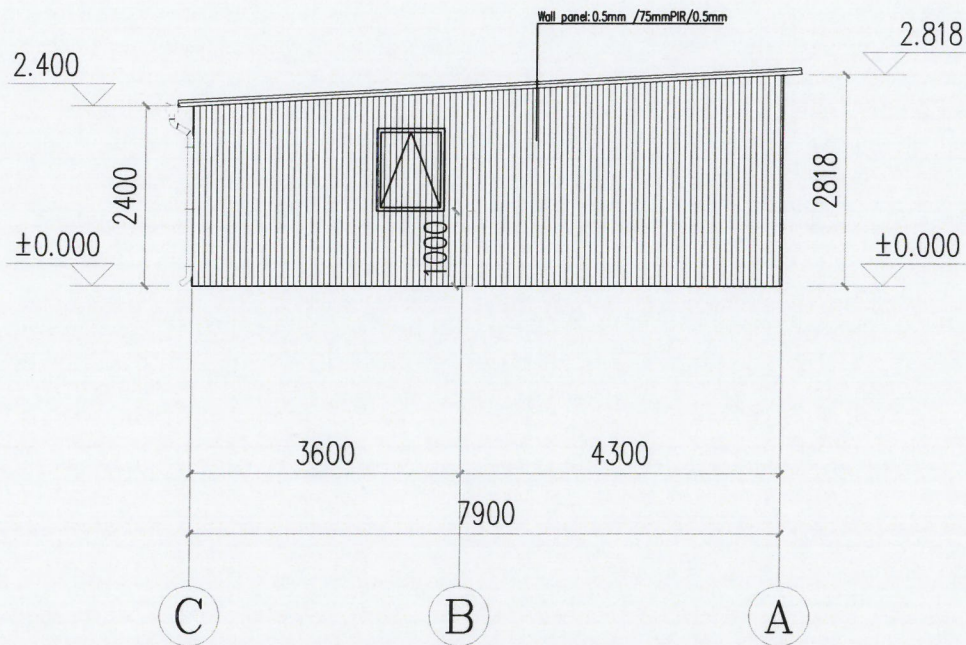
A & C Axis Elevation View

Sheet Number:03



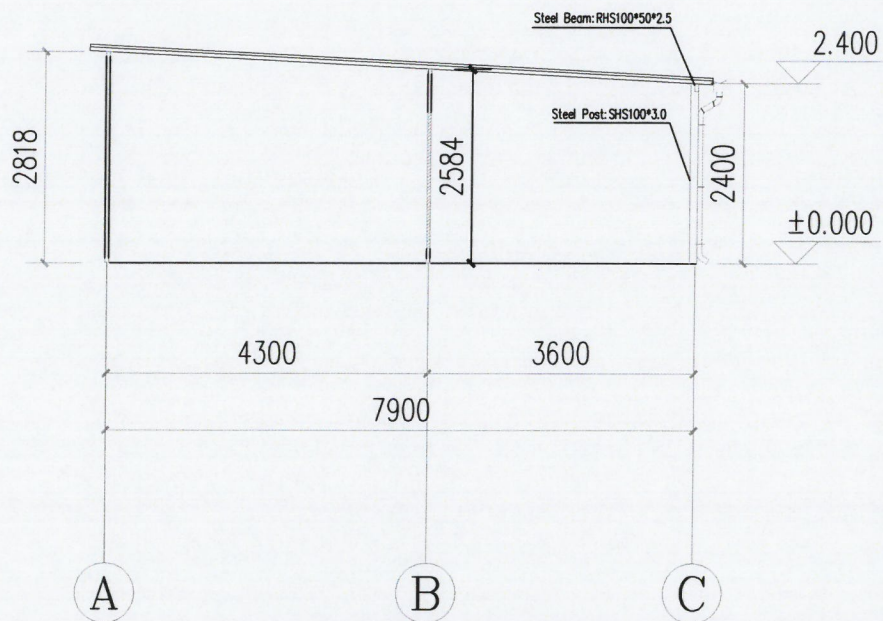
5 Axis Elevation View

1:100



1 Axis Elevation View

1:100



1-1 Section View

1:100

Sketch # BM7610SK04

Signed: *Stephen Strachan*
Name: Stephen Strachan

Date: 17/05/2022
RPEQ No: 2968

Office Amenities Building
1 & 5 Axis Elevation View
1-1 Section View
Sheet Number:04

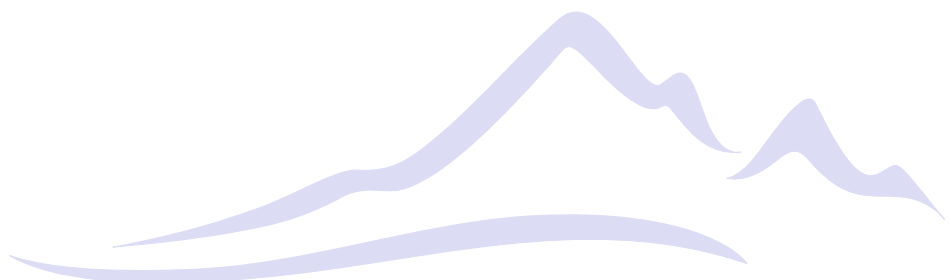
Attachment 3 – Appeal Rights Planning Act 2016

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

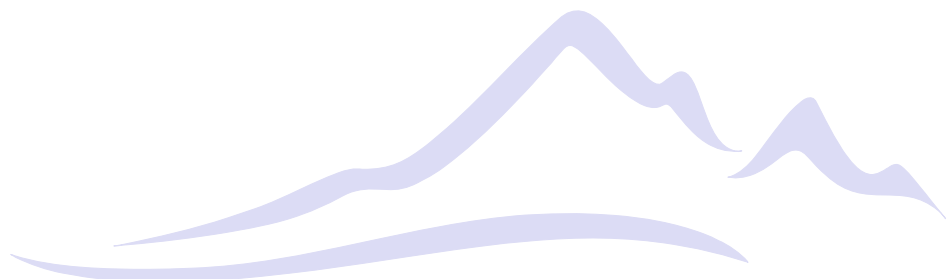
<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>



Attachment 4 – Conditions Imposed by Concurrence Agency

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Please refer to the following pages for the conditions imposed by the Concurrence Agency.





Department of
**State Development,
Manufacturing,
Infrastructure and Planning**

Our reference: SDA-0517-039077
Your reference: 62/17

20 June 2019

Chief Executive Officer
North Burnett Regional Council
PO Box 390
GAYNDAH QLD 4625

Dear Mr Rinehart

Concurrence agency response — (with condition)

Gladstone Monto Road, Macks Road, Monto - Lot 131 on RP857504, Lot 124 on RP224848, Lots 125-128 on RW143, Lots 267, 270 and 277 on RW148, Lot 105, 271 and 280 on RW149, Lot 269 on RW629, Lot 7 on RP816992, Lot 2 on RP809458
(Given under section 285 of the *Sustainable Planning Act 2009*)

The referral agency material for the development application described below was received by the Department of Infrastructure, Local Government and Planning under section 272 of the *Sustainable Planning Act 2009* on 5 May 2017.

Applicant details

Applicant name:	RG and DL Salisbury C/- Premise
Applicant contact details:	Level 2, Unit 2, 128 Margaret Street Gladstone QLD 4680 adrabsch@jfp.com.au

Site details

Street address:	Gladstone Monto Road, Macks Road QLD
Lot on plan:	Lot 131 on RP857504, Lot 124 on RP224848, Lots 125-128 on RW143, Lots 267, 270 and 277 on RW148 Lot 105, 271 and 280 on RW149, Lot 269 on RW629, Lot 7 on RP816992, Lot 2 on RP809458
Local government area:	North Burnett Regional Council

Aspects of development and type of approval being sought

Referral triggers

Referral trigger	Schedule 7, Table 3, Item 2—State-transport infrastructure
	Schedule 7, Table 3, Item 1—State-controlled road
	Schedule 7, Table 3, Item 15A—Railways
	Schedule 7, Table 2, Item 1—Environmentally relevant activity

Under section 287(1)(a) of the *Sustainable Planning Act 2009*, the department requires that the condition set out in Attachment 1 must be attached to any development approval:

Under section 289(1) of the *Sustainable Planning Act 2009*, the department must set out the reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Plans referenced under conditions for this approval can be found in Attachment 3.

Environmental authority permit number 2019-09, ERA 3 – pig keeping 3 keeping more than 8,000 standard pig units can be found as Attachment 4.

For further information, please contact Shelley Jackson, Senior Planning Officer, SARA Wide Bay Burnett on (07) 4122 0407 or email shelley.jackson@dsdmip.qld.gov.au who will be pleased to assist.

Yours sincerely



Luke Lankowski
Manager, Planning – Wide Bay Burnett

cc: Matt Norton@premise.com.au

enc: Attachment 1—Conditions to be imposed
Attachment 2—Reasons for decision to impose conditions
Attachment 3—Approved Plans
Attachment 4—Environmentally Relevant Authority approval

Our reference: SDA-0517-039077

Your reference: 62/17

Attachment 1—Conditions to be imposed

No.	Conditions	Condition timing
Material Change of Use		
Environmentally Relevant Activities—Pursuant to section 255D of the <i>Sustainable Planning Act 2009</i> , the chief executive administering the Act nominates the Director-General of the Department of Agriculture Fisheries and Forestry to be the assessing authority for the development to which this development approval relates for the administration and enforcement of any matter relating to the following condition(s):		
1.	<p>The development (limited to Environmentally Relevant Activity 3, 12,500 standard pig units, 8,000 standard pig units in the northern complex and 4,500 standard pig units in the southern complex) must be carried out generally in accordance with the following plan:</p> <ul style="list-style-type: none"> • Proposed property aerial plan, prepared by Premise, figure 11, revision C, dated 04/06/19 • Proposed southern complex plan - stage 2, prepared by Premise, figure 12.2, revision A, dated 04/06/19 • Proposed northern complex plan, prepared by Premise, figure 13, revision D, dated 04/06/19. 	At all times

Our reference: SDA-0517-039077

Your reference: 62/17

Attachment 2—Reasons for decision to impose condition

The reasons for this decision are:

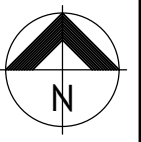
- To ensure development is carried out generally in accordance with plans

Our reference: SDA-0517-039077






Your reference: 62/17

Attachment 3—Approved plans

Please note this section is left blank intentionally



LEGEND

-  PROPOSED SOLID WASTE REUSE AREA (243ha)
-  PROPOSED LIQUID WASTE REUSE AREA (288ha)
-  REUSE BUFFER TO WATERCOURSE (100m) & DRAINAGE LINE (50m)
-  REUSE BUFFER TO PROPERTY BOUNDARY (50m)
-  IRRIGATED EFFLUENT RETICULATION

NOTES:

1. CADASTRAL INFORMATION EXTRACTED FROM DNRm DCDB (© State of Queensland (Department of Natural Resources and Mines) 2014), ACCURACY IS LIMITED.
2. OTHER FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
3. IMAGE SOURCED FROM GOOGLE EARTH PRO™. DATE OF CAPTURE 23/11/2015

PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



SARA ref: SDA-0517-039077

Date: 20 June 2019

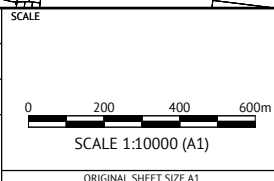
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	MRN	APP
04/06/19	C	REVISED LAYOUT		MRN	
06/11/18	B	REVISED LAYOUT		MRN	
23/02/17	A	ORIGINAL ISSUE		MRN	



TOOWOOMBA OFFICE
LEVEL 2, UNIT 2
128 MARGARET ST
TOOWOOMBA, QLD 4350
PH: (07) 4632 8230
WEB: www.premise.com.au

DESIGNED
MML
CHECKED
MRN
PROJECT MANAGER
MRN
ENGINEERING CERTIFICATION



CLIENT **RG & DL SALISBURY**

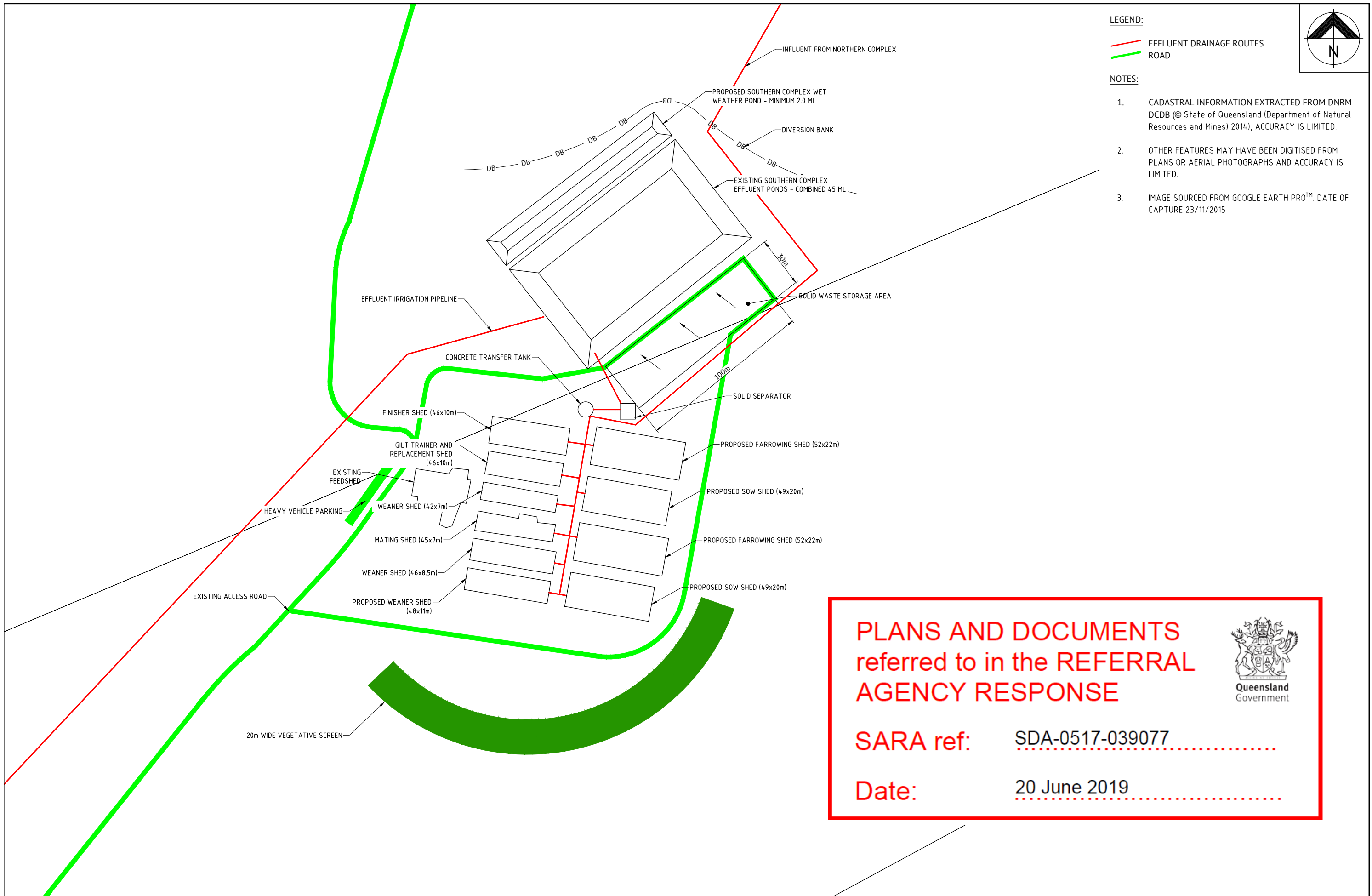
PROJECT **DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION**

LOCATION **MS 448 MONTA QLD 4630**

SHEET TITLE **PROPOSED PROPERTY AERIAL PLAN**

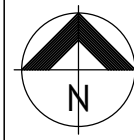
JOB CODE
8494

SHEET NUMBER	REV
FIG11	C



LEGEND:

EFFLUENT DRAINAGE ROUTES
ROAD



NOTES:

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PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



SARA ref: SDA-0517-039077

Date: 20 June 2019

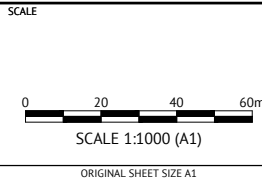
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS	MRN	APP
04/06/19	A	ORIGINAL ISSUE			



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MRN
PROJECT MANAGER
MRN
ENGINEERING CERTIFICATION



CLIENT
RG & DL SALISBURY

PROJECT
DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION

LOCATION
MS 448 MONTA QLD 4630

SHEET TITLE
PROPOSED SOUTHERN COMPLEX PLAN - STAGE 2

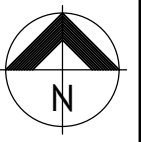
JOB CODE
8494

SHEET NUMBER
FIG12.2

REV
A

LEGEND:

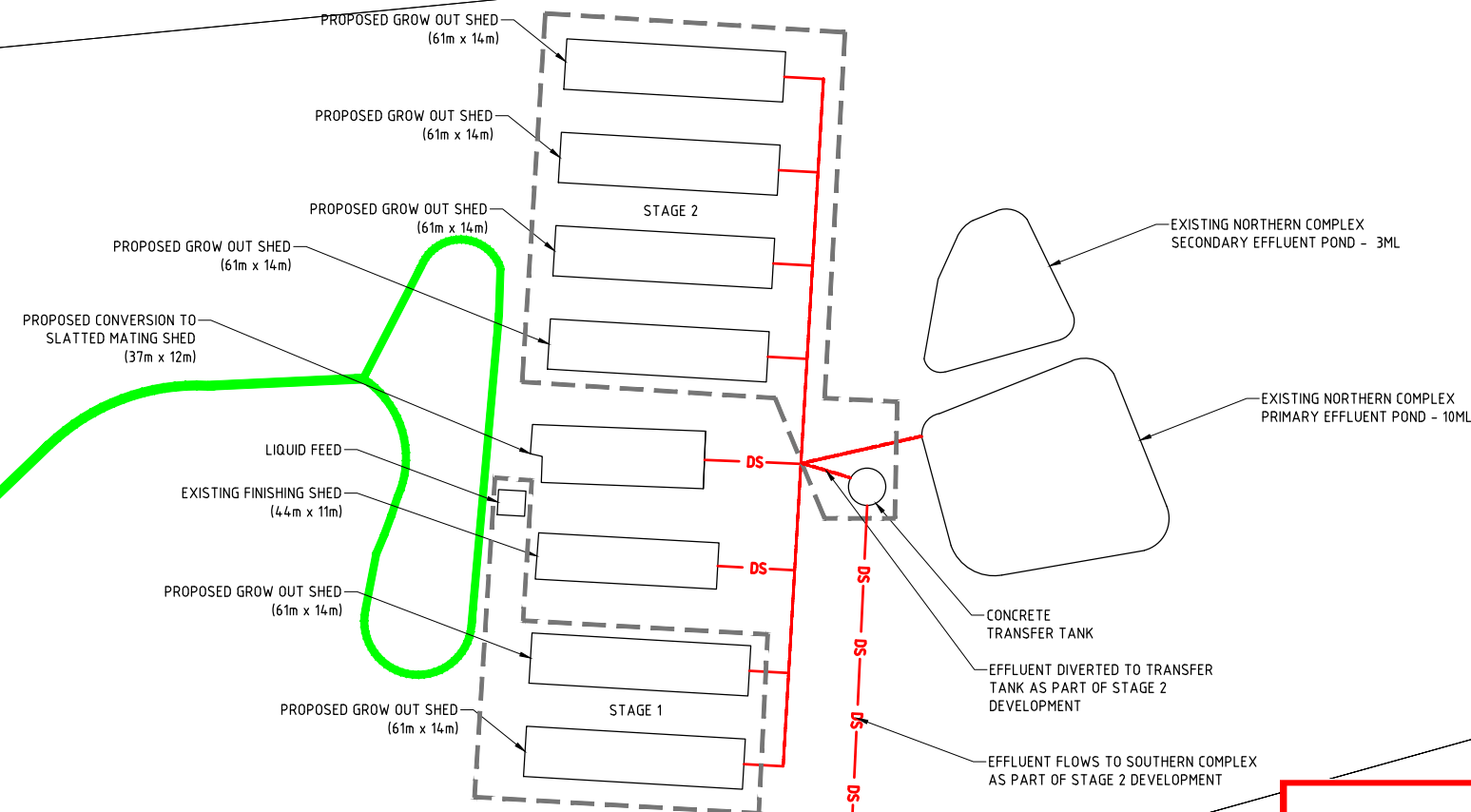
- EFFLUENT DRAINAGE ROUTES
- ROAD
- STAGE BOUNDARY



NOTES:

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- IMAGE SOURCED FROM GOOGLE EARTH PRO™. DATE OF CAPTURE 23/11/2015

20m WIDE VEGETATIVE SCREEN



PLANS AND DOCUMENTS
referred to in the REFERRAL
AGENCY RESPONSE



SARA ref: SDA-0517-039077

Date: 20 June 2019

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS	REC	APP
04/06/19	D	REVISED LAYOUT			MRN
06/11/18	C	REVISED LAYOUT			MRN
19/05/19	B	RFI AMENDMENTS			MRN
23/02/17	A	ORIGINAL ISSUE			MRN



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CHECKED
MRN
PROJECT MANAGER
MRN
ENGINEERING CERTIFICATION

SCALE
0 20 40 60m
SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
RG & DL SALISBURY
PROJECT
DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION
LOCATION
MS 448 MONTA QLD 4630
SHEET TITLE
PROPOSED NORTHERN COMPLEX PLAN

JOB CODE
8494
SHEET NUMBER
FIG13
REV
D

Our reference: SDA-0517-039077

Your reference: 62/17

Attachment 4—Environmentally relevant activity approval

Please note this section is left blank intentionally

Notice

Environmental Protection Act 1994

Decision about an application for an environmental authority

This statutory notice is issued by the administering authority pursuant to section 198 of the Environmental Protection Act 1994 to advise you of a decision on your application for an environmental authority.

To: Russ Gordon Salisbury & Dieta
Leanne Salisbury
"Glenbrae", MS 448
MONTQ QLD 4630

Our reference: QBMN0318

Decision about an application for an environmental authority

1 Application details

The application for an environmental authority was received by the administering authority on 11 May 2017.

Application reference number: QBMN0318

Land description: Lot 131 Registered Plan 857504; Lot 124 Registered Plan 224848; Lots 125, 126, 127 and 128 RW143; Lots 267, 270 and 277 RW148; Lots 105, 271 and 280 RW149; Lot 269 RW629; Lot 7 Registered Plan 816992 and Lot 2 Registered Plan 809458.

"Glenbrae" 110 Macks Road

MONTQ QLD

2 Decision

The administering authority has decided to approve the application with conditions that you have agreed to in writing.

3 Annual fee

The first annual fee is payable within 20 business days of the effective date shown in the attached environmental authority.

The anniversary day of this environmental authority is the same day each year as the effective date. An annual return and the payment of the annual fee will be due each year on this day.



19 June 2019

Mitchell Furness
Manager, Environmental Regulation

Delegate of the administering authority
Environmental Protection Act 1994

Enquiries:

Department of Agriculture and Fisheries
Animal Industries
203 Tor Street
TOOWOOMBA QLD 4350

Phone: 13 25 23

Fax: 07 4529 4192

Email: livestockregulator@daf.qld.gov.au

Attachments

Environmental authority 2019-09

Permit

Environmental Protection Act 1994

Environmental authority 2019-09

This environmental authority is issued by the delegate of the administering authority under Chapter 5 of the Environmental Protection Act 1994.

Permit¹ number: 2019-09

Environmental authority takes effect when your related development application is approved

The first annual fee is payable within 20 business days of the effective date.

The anniversary date of this environmental authority is the same day each year as the effective date.
Payment of the annual fee will be due each year on this day.

Environmental authority holder(s)

Name and Suitable Operator Reference	Registered address
Russ Gordon Salisbury Suitable operator reference: RSO001262 Dieta Leanne Salisbury Suitable operator reference: RSO001263	"Glenbrae", MS 448 MONTQ QLD 4630

Environmentally relevant activity and location details

Environmentally relevant activity	Location
ERA 3 — Pig Keeping 3 keeping more than 8,000 standard pig units	Lot 131 Registered Plan 857504; Lot 124 Registered Plan 224848; Lots 125, 126, 127 and 128 RW143; Lots 267, 270 and 277 RW148; Lots 105, 271 and 280 RW149; Lot 269 RW629; Lot 7 Registered Plan 816992 and Lot 2 Registered Plan 809458. "Glenbrae" 110 Macks Road MONTQ QLD

Additional information for applicants

Environmentally relevant activities

The description of any environmentally relevant activity (ERA) for which an environmental authority (EA) is issued is a restatement of the ERA as defined by legislation at the time the EA is issued. Where there is any inconsistency between that description of an ERA and the conditions stated by an EA as to the scale, intensity or manner of carrying out an ERA, the conditions prevail to the extent of the inconsistency.

An EA authorises the carrying out of an ERA and does not authorise any environmental harm unless a condition stated by the EA specifically authorises environmental harm.

A person carrying out an ERA must also be a registered suitable operator under the *Environmental Protection Act 1994* (EP Act).

Contaminated land

It is a requirement of the EP Act that an owner or occupier of contaminated land give written notice to the administering authority if they become aware of the following:

- the happening of an event involving a hazardous contaminant on the contaminated land (notice must be given within 24 hours); or
- a change in the condition of the contaminated land (notice must be given within 24 hours); or
- a notifiable activity (as defined in Schedule 3) having been carried out, or is being carried out, on the contaminated land (notice must be given within 20 business days)

that is causing, or is reasonably likely to cause, serious or material environmental harm.

For further information, including the form for giving written notice, refer to the Queensland Government website www.qld.gov.au, using the search term 'duty to notify'.

Take effect

Please note that, in accordance with section 200 of the EP Act, an EA has effect:

- a) if the authority is for a prescribed ERA and it states that it takes effect on the day nominated by the holder of the authority in a written notice given to the administering authority on the nominated day; or
- b) if the authority states a day or an event for it to take effect on the stated day or when the stated event happens; or
- c) otherwise- on the day the authority is issued.

However, if the EA is authorising an activity that requires an additional authorisation (a relevant tenure for a resource activity, a development permit under the *Planning Act 2016* or an SDA Approval under the *State Development and Public Works Organisation Act 1971*), this EA will not take effect until the additional authorisation has taken effect.

If this EA takes effect when the additional authorisation takes effect, you must provide the administering authority written notice within 5 business days of receiving notification of the related additional authorisation taking effect.

If you have incorrectly claimed that an additional authorisation is not required, carrying out the ERA without the additional authorisation is not legal and could result in your prosecution for providing false or misleading information or operating without a valid environmental authority.



19 June 2019

Mitchell Furness

Manager, Environmental Regulation

Delegate of the administering authority

Environmental Protection Act 1994

Enquiries

Department of Agriculture and Fisheries
Animal Industries
203 Tor Street

TOOWOOMBA QLD 4350

Phone: 13 25 23

Fax: 07 4529 4192

Email: livestockregulator@daf.qld.gov.au

Department of Agriculture and Fisheries

Obligations under the *Environmental Protection Act 1994*

In addition to the requirements found in the conditions of this environmental authority, the holder must also meet their obligations under the Act, and the regulations made under the Act. For example, the holder must comply with the following provisions of the Act:

- general environmental duty (section 319)
- duty to notify environmental harm (section 320-320G)
- offence of causing serious or material environmental harm (sections 437-439)
- offence of causing environmental nuisance (section 440)
- offence of depositing prescribed water contaminants in waters and related matters (section 440ZG)
- offence to place contaminant where environmental harm or nuisance may be caused (section 443)

Other permits required

This permit only provides an approval under the *Environmental Protection Act 1994*. In order to lawfully operate you may also require permits / approvals from your local government authority, other business units within the department and other State Government agencies prior to commencing any activity at the site. For example, this may include permits / approvals with your local Council (for planning approval), the Department of Transport and Main Roads (to access state controlled roads), the Department of Natural Resources and Mines (to clear vegetation), and the Department of Agriculture and Fisheries (to clear marine plants or to obtain a quarry material allocation).

Development Approval

This permit is not a development approval under the *Planning Act 2016*. The conditions of this environmental authority are separate, and in addition to, any conditions that may be on the development approval. If a copy of this environmental authority is attached to a development approval, it is for information only, and may not be current. Please contact the Department of Agriculture and Fisheries to ensure that you have the most current version of the environmental authority relating to this site.

Conditions of environmental authority

The environmentally relevant activity conducted at the locations as described above must be conducted in accordance with the following site specific conditions of approval.

Agency interest: General	
Condition number	Condition
G1	Any breach of a condition of this environmental authority must be reported to the administering authority as soon as practicable within 24 hours of becoming aware of the breach. Records must be kept including full details of the breach and any subsequent actions taken.
G2	Activities conducted under this environmental authority must not be conducted contrary to any of the following limitations: <ul style="list-style-type: none"> a) the maximum number of pigs housed in piggery sheds at the northern site must not exceed 8000 standard pig units (SPU); and b) the maximum number of pigs housed in piggery sheds at the southern site must not exceed 4500 SPU; and c) pigs are to be housed within piggery sheds at all times.
G3	Prior to stocking the northern piggery complex with more than 2700 SPU the following must take place: <ul style="list-style-type: none"> a) all liquid waste containment structures used for the storage of piggery effluent from the northern piggery sheds are to be enclosed or covered with an impermeable cover at all times while in use; and b) any effluent that is transferred from the northern site to the liquid waste containment structures located at the southern site must be conveyed in a manner that minimises the risk of contaminants causing environmental harm.
G4	All reasonable and practicable measures must be taken to prevent or minimise environmental harm caused by the activities.
G5	The pig keeping activity and associated facilities must be constructed generally in accordance with the following approved plans: <ul style="list-style-type: none"> 1. Proposed property aerial plan, prepared by Premise, figure 11, revision C, dated 04/06/19; and 2. Proposed southern complex plan - stage 2, prepared by Premise, figure 12.2, revision A, dated 04/06/19; and 3. Proposed northern complex plan, prepared by Premise, figure 13, revision D, dated 04/06/19.
G6	Piggery controlled drainage areas must be constructed and maintained in accordance with accepted engineering practice, to ensure long term structural integrity. The in-situ coefficient of permeability of the finished base, batters and embankments must not exceed 1×10^{-9} m/s. If this standard cannot be achieved using the in-situ material, lining must be carried out in accordance with the design permeability specification of the NEGIP (May 2018). The holder of the environmental authority is to submit compaction testing to demonstrate compliance with this specification prior to stocking the expanded facility.
G7	The holder of this environmental authority must not make any material alteration to the activity which may affect the operating capacity of the activity or change the way in which the activity operates, without the prior written approval of the administering authority .

14-7-19/6/2019

G8	<p>The environmentally relevant activity to which this environmental authority relates must be established and operated in accordance with the NEGIP (May 2018) or subsequent versions.</p> <p>In the event of any inconsistency between the conditions of this Environmental Authority, the NEGIP (May 2018) and the development information, the documents will prevail in the following order to the extent of the inconsistency:-</p> <ul style="list-style-type: none"> • the conditions of this Environmental Authority; • the NEGIP (May 2018) or subsequent versions; and • the development information.
G9	<p>Animal carcasses shall be disposed of so as not to cause environmental harm or nuisance. Carcasses must, at all times, be covered with a minimum of 300mm of soil or organic material.</p>
G10	<p>Piggery liquid waste containment structures shall be managed to prevent over-topping. The wet weather ponds are to be managed by irrigation to the designated waste utilisation areas to ensure they are generally empty.</p>
G11	<p>Any release of liquid waste from containment structures must be reported to the administering authority within 24 hours of becoming aware of the release. Records must be kept including full details of the release and any subsequent actions taken.</p>
G12	<p>The activity must be undertaken in accordance with written procedures that:</p> <ol style="list-style-type: none"> identify potential risks to the environment from the activity during routine operations and emergencies; and establish and maintain control measures that minimise the potential for environmental harm; and ensure plant, equipment and measures are maintained in a proper and effective condition; and ensure plant, equipment and measures are operated in a proper and effective manner; and ensure that staff are trained and aware of their obligations under the Environmental Protection Act 1994; and ensure that reviews of environmental performance are undertaken at least annually; and Identify risk of harm or nuisance to surrounding land uses and measures to minimise any environmental harm or nuisance; and Include a management plan which outlines practices that prevent or minimise the risk of environmental harm or nuisance to surrounding land uses.
G13	<p>All analyses required under this environmental authority must be carried out by a laboratory that has National Association of Testing Authorities certification, or an equivalent certification, for such analyses.</p>

M. J. Furber
19/6/2019

G14

An **appropriately qualified person(s)** must monitor and record all indicator(s) required by and in accordance with Table 1 – Monitoring and the associated monitoring requirements.

Table 1 – Monitoring

Indicator(s)	Measurement (units) and depth intervals	Minimum frequency	Monitoring location
Land			
Colwell Phosphorus (Colwell P)	mg/L 0.0 – 0.3 m 0.5 – 0.6 m 0.9 – 1.0 m	On request by the administering authority	Soil samples are to be collected from the specified depth intervals from representative sites within the waste utilisation areas.
Nitrate Nitrogen (NO ₃ ⁻ - N)	mg/L 0.0 – 0.3 m 0.5 – 0.6 m 0.9 – 1.0 m		
Exchangeable Sodium Percentage (ESP)	SAR 0.0 – 0.3 m 0.5 – 0.6 m 0.9 – 1.0 m		
Electrical Conductivity (EC)	µS/cm 0.0 – 0.3 m 0.5 – 0.6 m 0.9 – 1.0 m		
pH	pH units 0.0 – 0.3 m 0.5 – 0.6 m 0.9 – 1.0 m		
Groundwater			
Phosphorus (Total P)	mg/L	Annually	Water samples are to be collected from the following bores: <ul style="list-style-type: none">• RN 21420 located on lot 277 RW148 (Top bore), and• RN 68146 located on lot 269 RW629 (Bottom bore).
Ammonium-Nitrogen (NH ₄ ⁺ -N)	mg/L		
Electrical Conductivity (EC)	µS/cm		
pH	pH units		

G15

The following analyses are required for surface water samples collected from watercourses on an event basis, i.e. when runoff from the piggery and/or associated waste utilisation areas is entering a watercourse. For comparison purposes, samples are to be collected directly upstream and downstream of the point where runoff from the piggery complex or waste utilisation areas enters the watercourse:

Parameter
Total Phosphorus (Total P)
Ortho Phosphorous (Ortho P).
Sodium Adsorption Ratio (SAR).
Electrical Conductivity (EC)
pH.
Total Nitrogen or Total Kjeldahl Nitrogen (TKN)
Ammonium-Nitrogen (NH ₄ ⁺ – N)
Potassium (K)

Handwritten signature and date:
19/6/2019

G16	When required by the administering authority , monitoring must be undertaken in the manner prescribed by the administering authority to investigate a complaint of environmental nuisance arising from the activity . The monitoring results must be provided within 10 business days to the administering authority upon its request.
G17	For each application of liquid effluent, compost or solid waste material the following information must be recorded: <ul style="list-style-type: none"> • the date of application; • the rate of application; • the crop or pasture; • the stage of growth; and • the location of the land receiving the material.
G18	All records must be kept for a period of at least five years and provided to the administering authority upon request.
Agency interest: Air	
Condition number	Condition
A1	Odours or airborne contaminants must not cause environmental nuisance to any sensitive place or commercial place .
A2	Dust and particulate matter emissions must not exceed the following concentrations at any sensitive place or commercial place : <ul style="list-style-type: none"> a) dust deposition of 120 milligrams per square metre per day, when monitored in accordance with Australian Standard AS 3580.10.1 (or more recent editions), or b) a concentration of particulate matter with an aerodynamic diameter of less than 10 micrometre (µm) (PM10) suspended in the atmosphere of 50 micrograms per cubic metre over a 24 hour averaging time, when monitored in accordance with Australian Standard AS 3580.9.6 (or more recent editions) or any other method approved by the administering authority.
A3	Piggery liquid waste containment structures must be managed at all times to prevent or minimise odour nuisance .
A4	To prevent or minimise odour nuisance , the piggery solid waste storage area must be managed at all times to achieve the following: <ul style="list-style-type: none"> • minimise the amount of organic matter available for decomposition; • minimise water pooling; • maximise the rate of drying of wet solids.
Agency interest: Water	
Condition number	Condition
WT1	Contaminants must not be released to groundwater or at a location where they are likely to release to groundwater .

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19/6/2019

WT2	Any release of contaminants generated by the activity to waters must not cause environmental harm .
WT3	The stormwater runoff from disturbed areas must be managed to minimise the release of contaminants offsite.
WT4	<p>Effluent and solid waste shall be applied to crops or pastures using a managed waste application program. The waste application program shall ensure the effluent and solid waste is applied sustainably across the whole of the available waste utilisation area.</p> <p>The rate and volume of effluent and solid waste applied to utilisation areas shall be such that surface pooling and runoff is kept to a practical minimum and excessive deep percolation is avoided.</p>

Agency interest: Noise

Condition number	Condition																																																					
N1	Noise generated by the activity must not cause environmental nuisance to any sensitive place or commercial place .																																																					
N2	<p>Noise from the activity must not include substantial low frequency noise components and must not exceed the levels identified in Table 3 – Noise limits and the associated requirements at any nuisance sensitive place or commercial place.</p> <p>Table 3 – Noise limits</p> <table><tr><th rowspan="3">Noise level measured in dB(A)</th><th colspan="3">Monday to Saturday</th><th colspan="3">Sunday and Public Holidays</th></tr><tr><th>7am-6pm</th><th>6pm-10pm</th><th>10pm-7am</th><th>9am-6pm</th><th>6pm-10pm</th><th>10pm-9am</th></tr><tr><th colspan="6">Noise measured at a nuisance sensitive place</th></tr><tr><td>LAeq adj, 1 hr</td><td>Background +5</td><td>Background +3</td><td>Background +3</td><td>Background +5</td><td>Background + 3</td><td>Background + 3</td></tr><tr><td>LAm_{ax}, 1 hr</td><td>Background +10</td><td>Background +8</td><td>Background +5</td><td>Background +10</td><td>Background +8</td><td>Background +5</td></tr><tr><th rowspan="2">LAeq adj, 1 hr</th><th colspan="6">Noise measured at a commercial place</th></tr><tr><td>Background +10</td><td>Background +8</td><td>Background +5</td><td>Background +10</td><td>Background +8</td><td>Background +5</td></tr><tr><td>LAm_{ax}, 1 hr</td><td>Background +15</td><td>Background +13</td><td>Background +10</td><td>Background +15</td><td>Background +13</td><td>Background +10</td></tr></table>	Noise level measured in dB(A)	Monday to Saturday			Sunday and Public Holidays			7am-6pm	6pm-10pm	10pm-7am	9am-6pm	6pm-10pm	10pm-9am	Noise measured at a nuisance sensitive place						LAeq adj, 1 hr	Background +5	Background +3	Background +3	Background +5	Background + 3	Background + 3	LAm _{ax} , 1 hr	Background +10	Background +8	Background +5	Background +10	Background +8	Background +5	LAeq adj, 1 hr	Noise measured at a commercial place						Background +10	Background +8	Background +5	Background +10	Background +8	Background +5	LAm _{ax} , 1 hr	Background +15	Background +13	Background +10	Background +15	Background +13	Background +10
Noise level measured in dB(A)	Monday to Saturday			Sunday and Public Holidays																																																		
	7am-6pm		6pm-10pm	10pm-7am	9am-6pm	6pm-10pm	10pm-9am																																															
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LAeq adj, 1 hr	Background +5	Background +3	Background +3	Background +5	Background + 3	Background + 3																																																
LAm _{ax} , 1 hr	Background +10	Background +8	Background +5	Background +10	Background +8	Background +5																																																
LAeq adj, 1 hr	Noise measured at a commercial place																																																					
	Background +10	Background +8	Background +5	Background +10	Background +8	Background +5																																																
LAm _{ax} , 1 hr	Background +15	Background +13	Background +10	Background +15	Background +13	Background +10																																																

M. F. Jones
19/6/2017

Agency interest: Land	
Condition number	Condition
L1	Any release of contaminants generated by the activity to land must not cause environmental harm .
L2	Before applying to surrender this environmental authority the site must be rehabilitated to achieve a safe, stable, non-polluting landform.
Agency interest: Waste	
Condition number	Condition
WS1	All waste generated in carrying out the activity must be lawfully reused, recycled or removed to a facility that can lawfully accept the waste.
WS2	Waste being treated must be lawfully treated to render it less hazardous and be fit for its intended use or disposal.
WS3	Any release or utilisation of waste products generated by the activity must not cause environmental harm .
WS4	<p>The rate of application of effluent and solid wastes from the activity must not exceed the rates at which the critical constituents of the wastes, that is, water, nutrients (especially nitrogen and phosphorus) and salts, are:</p> <ul style="list-style-type: none"> (a) taken up by plants and removed from the waste utilisation areas by harvesting; (b) safely stored within the soil profile; or (c) released into the surrounding environment in an acceptable form.
WS5	<p>Manure and sludge generated by the activity, shall be either:</p> <ul style="list-style-type: none"> • stored within the designated solid waste processing and composting area(s) of the piggery complex; or • exported from the property; or • applied immediately, at sustainable rates, to crop or pasture on the property.
WS6	Solid waste processing and composting areas shall be protected from rainfall runoff by diversion banks or drains and shall be located within a controlled drainage area .

END OF PERMIT

M. J. Jones
19/6/2019

Attachments

Approved Plans:

1. Proposed property aerial plan, prepared by Premise, figure 11, revision C, dated 04/06/19;
2. Proposed southern complex plan - stage 2, prepared by Premise, figure 12.2, revision A, dated 04/06/19;
3. Proposed northern complex plan, prepared by Premise, figure 13, revision D, dated 04/06/19.

Definitions

Key terms and/or phrases used in this document are defined in this section and **bolded** throughout this document. Applicants should note that where a term is not defined, the definition in the *Environmental Protection Act 1994* (the Act), its regulations or environmental protection policies must be used. If a word remains undefined it has its ordinary meaning.

activity means the environmentally relevant activities, whether resource activities or prescribed activities, to which the environmental authority relates.

administering authority means the Department of Agriculture and Fisheries or its successor or predecessors.

background means noise, measured in the absence of the noise under investigation, as $L_{A90,T}$ being the A-weighted sound pressure level exceeded for 90 percent of the time period of not less than 15 minutes, using Fast response.

commercial place means a place used as a workplace, an office or for business or commercial purposes and includes a place within the curtilage of such a place reasonably used by persons at that place.

controlled drainage area means an area that collects contaminated stormwater runoff or effluent and excludes clean rainfall runoff. It is typically established using a series of:

- catch drains to capture runoff from the piggery sheds and all other surfaces where piggery waste is stored and processed within the piggery complex, and ultimately convey that runoff to a treatment, collection or disposal system, and
- diversion banks or drains placed immediately upslope of the piggery complex, which are designed to divert 'clean' or uncontaminated upslope runoff around the piggery complex.

delegate of the administering authority means an officer of the Department of Agriculture and Fisheries or its successor as cited by the administering authority.

disturbed areas includes areas:

1. that are susceptible to erosion;
2. that are contaminated by the activity; and/or
3. upon which stockpiles of soil or other materials are located.

environmental harm as defined in Chapter 1 of the Environmental Protection Act 1994.

environmental nuisance as defined in Chapter 1 of the Environmental Protection Act 1994.

groundwater means water that occurs naturally in, or is introduced artificially into, an aquifer.

$L_{Aeq\ adj,T}$ means the adjusted A weighted equivalent continuous sound pressure level measures on fast response, adjusted for tonality and impulsiveness, during the time period T, where T is measured for a period no less than 15 minutes when the activity is causing a steady state noise, and no shorter than one hour when the approved activity is causing an intermittent noise.

land does not include **waters**.

M. Fitzgerald
19/6/2019

MaxL_{PA,T} means the maximum A-weighted sound pressure level measured over a time period T of not less than 15 minutes, using Fast response.

measures has the broadest interpretation and includes plant, equipment, physical objects, monitoring, procedures, actions, directions and competency.

offensive means causing offence or displeasure; is unreasonably disagreeable to the sense; disgusting, nauseous or repulsive.

prescribed water contaminants means contaminants listed within Schedule 9 of the Environmental Protection Regulation 2008.

records include breach notifications, written procedures, analysis results, monitoring reports and monitoring programs required under a condition of this authority.

release of a contaminant into the environment includes:

1. to deposit, discharge, emit or disturb the contaminant; and
2. to cause or allow the contaminant to be deposited, discharged, emitted or disturbed; and
3. to fail to prevent the contaminant from being deposited, discharged emitted or disturbed; and
4. to allow the contaminant to escape; and
5. to fail to prevent the contaminant from escaping.

sensitive place includes the following and includes a place within the curtilage of such a place reasonably used by persons at that place:

1. a dwelling, residential allotment, mobile home or caravan park, residential marina or other residential premises; or
2. a motel, hotel or hostel; or
3. a kindergarten, school, university or other educational institution; or
4. a medical centre or hospital; or
5. a protected area under the *Nature Conservation Act 1992*, the *Marine Parks Act 2004* or a World Heritage Area; or
6. a public park or garden; or
7. for noise, a place defined as a sensitive receptor for the purposes of the Environmental Protection (Noise) Policy 2008.

standard pig units (SPU) is a unit of measurement based on types, or a combination of types and live weight, of pigs.

In the following table, the number of **standard pig units** that is equivalent to an animal of a type mentioned in column 1 is stated opposite in column 2.

Column 1	Column 2
Type of pig	Number of standard pig units
boar	1.6
gestating sow	1.6
gilt	1.8
lactating sow	2.5

In the following table, the number of **standard pig units** that is equivalent to an animal of a type mentioned in column 1 and a live weight mentioned opposite in column 2, is stated opposite the live weight in column 3.

Column 1	Column 2	Column 3
Type of pig	Live weight (kg)	Number of standard pig units
sucker	1.4 to 8	0.1
weaner	more than 8 to 25	0.5
grower	more than 25 to 55	1.0
finisher	more than 55 to 100	1.6
finisher	more than 100	1.8

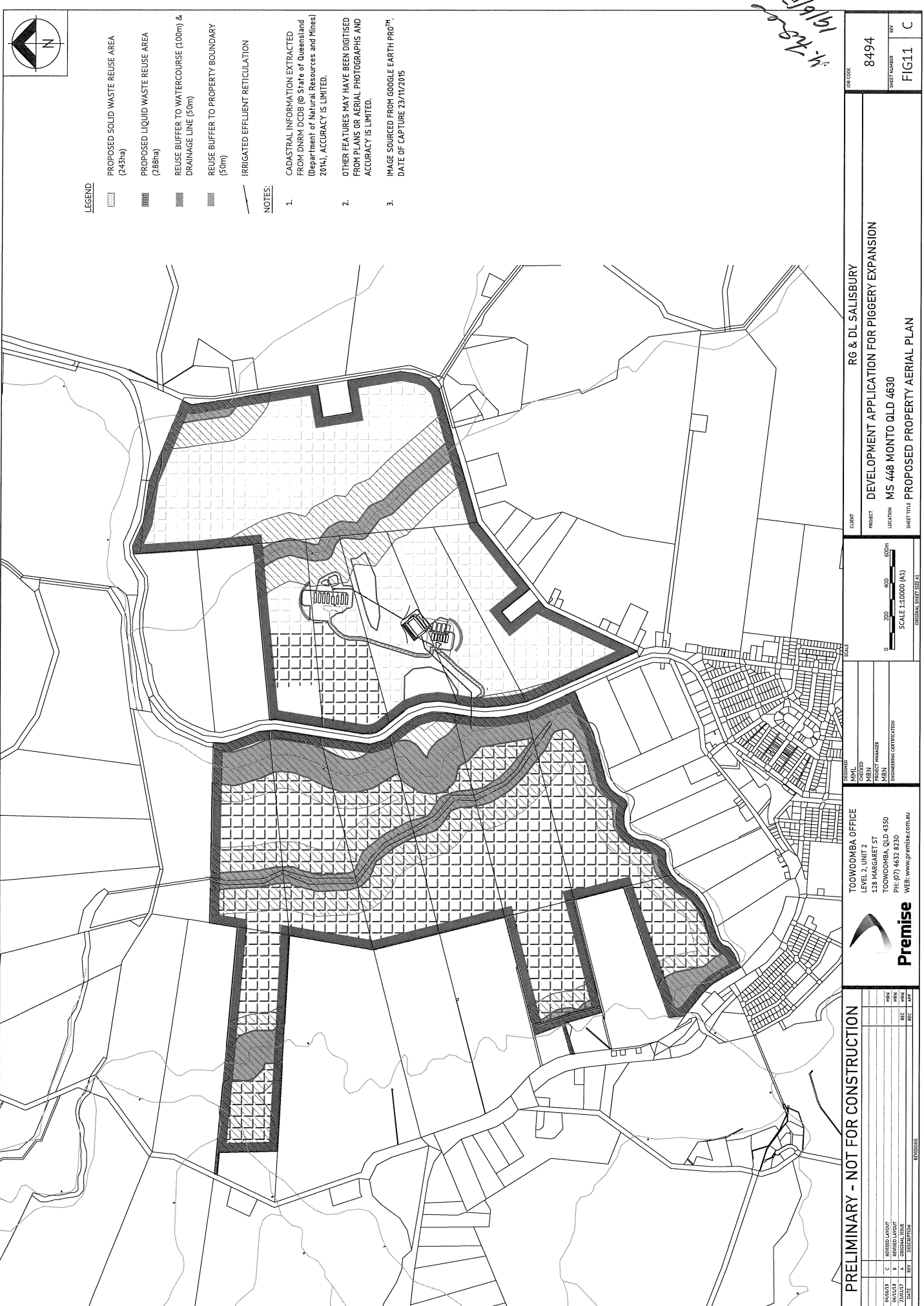
M. J. Jones
19/6/2019

substantial low frequency noise means a noise emission that has an unbalanced frequency spectrum shown in a one-third octave band measurements, with a predominant component within the frequency range 10 to 200 Hz. It includes any noise emission likely to cause an overall sound pressure level at a noise sensitive place exceeding 55 dB(Z).

waters includes river, stream, lake, lagoon, pond, swamp, wetland, unconfined surface water, unconfined water, natural or artificial watercourse, bed and bank of any waters, dams, non-tidal or tidal waters (including the sea), stormwater channel, stormwater drain, roadside gutter, stormwater run-off, and groundwater and any part thereof.

you means the holder of the environmental authority.

M. J. Jones
19/6/2019



19/11/2019
15:28:00

LEGEND

- PROPOSED SOLID WASTE REUSE AREA (243ha)
- PROPOSED LIQUID WASTE REUSE AREA (288ha)
- REUSE BUFFER TO WATERCOURSE (100m) & DRAINAGE LINE (50m)
- REUSE BUFFER TO PROPERTY BOUNDARY (50m)
- IRRIGATED EFFLUENT RETICULATION

NOTES:

- CADASTRAL INFORMATION EXTRACTED FROM DNRM DCDB (© State of Queensland (Department of Natural Resources and Mines) 2014). ACCURACY IS LIMITED.
- OTHER FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
- IMAGE SOURCED FROM GOOGLE EARTH PRO™. DATE OF CAPTURE 23/11/2015

PRELIMINARY - NOT FOR CONSTRUCTION			
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Premise

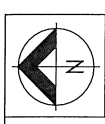
TOOWOOMBA OFFICE
LEVEL 2, UNIT 2
128 MARGARET ST
TOOWOOMBA QLD 4550
PH: (07) 4632 8230
WEB: www.premise.com.au

DESIGNED: MEN
CHECKED: MEN
PROJECT MANAGER: MEN
ENGINEERING CERTIFICATION: MEN

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SCALE 1:10000 (A1)
ORIGINAL SHEET SIZE: A1

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PROJECT: DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION
LOCATION: MS 448 MONTO QLD 4630
SHEET TITLE: PROPOSED PROPERTY AERIAL PLAN

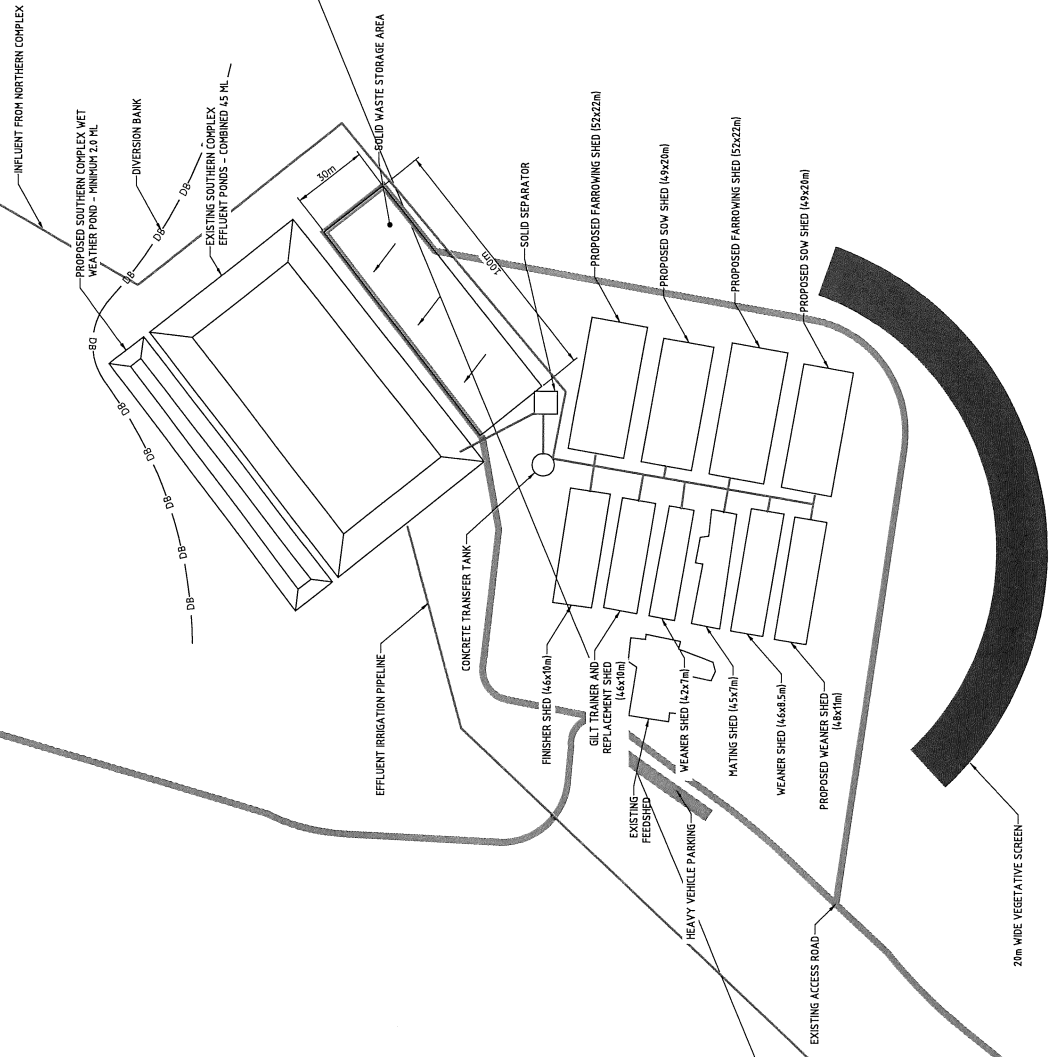
FOR CODE: 8494
SHEET NUMBER: FIG11
REV: C



LEGEND:
EFFLUENT DRAINAGE ROUTES
ROAD

NOTES:

1. CADASTRAL INFORMATION EXTRACTED FROM DNRM DCDB (© State of Queensland (Department of Natural Resources and Mines) 2014). ACCURACY IS LIMITED.
2. OTHER FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
3. IMAGE SOURCED FROM GOOGLE EARTH PRO™. DATE OF CAPTURE 23/11/2015



W. Thorne
19/1/16

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	BY	DESCRIPTION	REV	APP

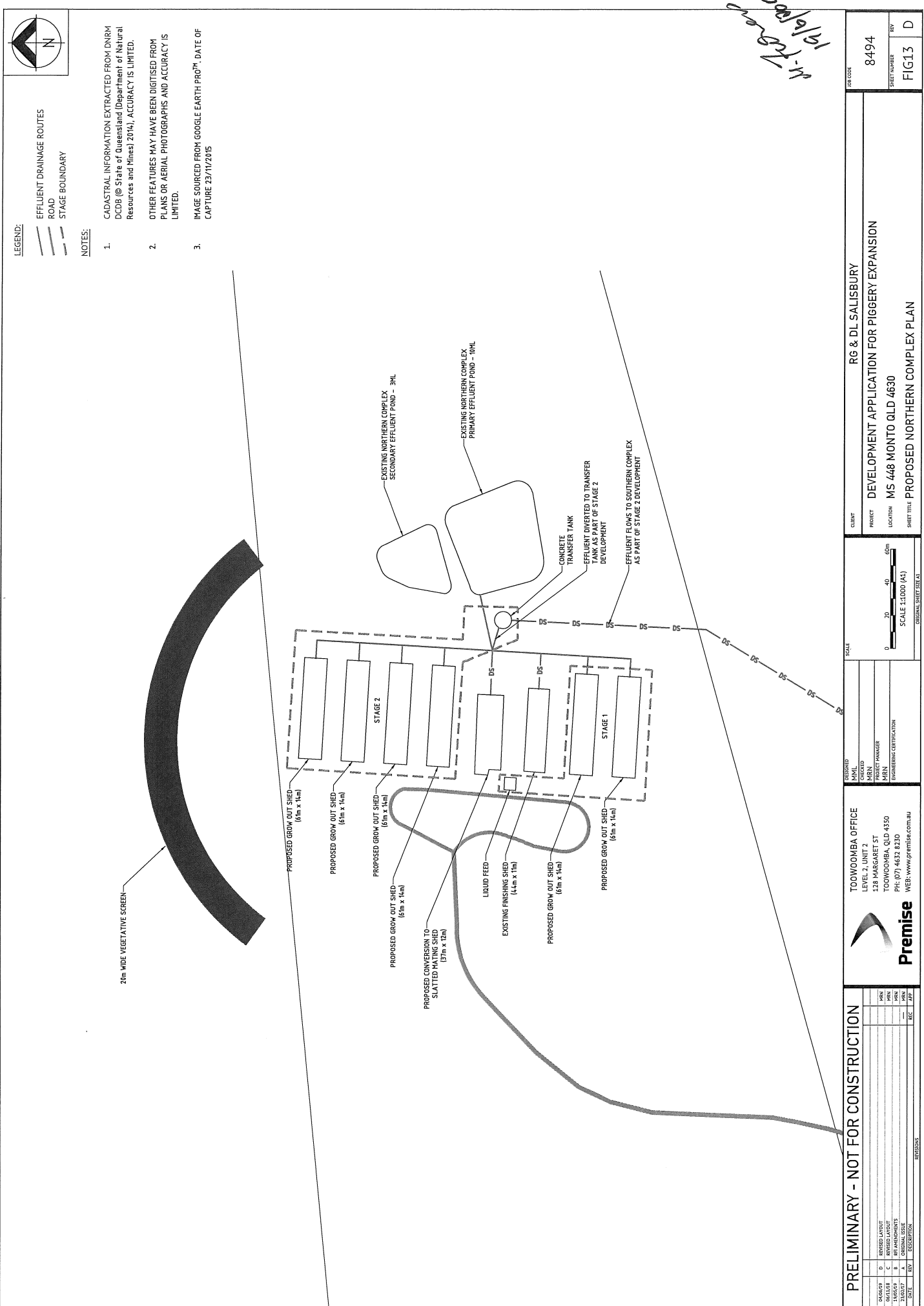
TOOWOOMBA OFFICE
LEVEL 2, UNIT 2
28 MARGARET ST
TOOWOOMBA, QLD 4350
PH: 07 4632 8230
WEB: www.premise.com.au

APPROVED
FOR CONSTRUCTION
PROJECT MANAGER
MEN
FOR SIGNING
FOR SIGNING
FOR SIGNING

SCALE
0 20 40 60m
SCALE 1:1000 (A3)
ORIGINAL SHEET SIZE A3

CLIENT
RG & DL SALISBURY
PROJECT
DEVELOPMENT APPLICATION FOR PIGGERY EXPANSION
LOCATION
MS 448 MONTA QLD 4630
SHEET TITLE
PROPOSED SOUTHERN COMPLEX PLAN - STAGE 2

OFF CODE
8494
SHEET NUMBER
FIG12.2
REV
A



LEGEND:

- EFFLUENT DRAINAGE ROUTES
- ROAD
- STAGE BOUNDARY

NOTES:

- CADASTRAL INFORMATION EXTRACTED FROM DNRM DCDB (@ State of Queensland (Department of Natural Resources and Mines) 2014). ACCURACY IS LIMITED.
- OTHER FEATURES MAY HAVE BEEN DIGITISED FROM PLANS OR AERIAL PHOTOGRAPHS AND ACCURACY IS LIMITED.
- IMAGE SOURCED FROM GOOGLE EARTH PRO™. DATE OF CAPTURE 23/11/2015

PRELIMINARY - NOT FOR CONSTRUCTION			
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