

10 October 2023

Our reference: DA230042
Document ID: 1172600

Margaret Cochrane
775 Coles Creek Road
POMONA QLD 4568

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

24 HORTON STREET, BIGGENDEN
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 5 October 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	Margaret Cochrane
Applicant contact details:	775 Coles Creek Road POMONA QLD 4568
Email:	marg@margcochrane.com.au
Phone:	
Mobile:	0439 989 982

Site details

Street address:	24 HORTON STREET, BIGGENDEN
Real property description:	22SP198429

Application details

Application No:	DA230042
Date of Decision	10 October 2023
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Amenity and Aesthetics	Development Permit	Removal Dwelling (IN)

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 7 Building work for removal or rebuilding
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Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that; The development approval must be subject to stated development conditions set out in Attachment 1
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Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

Approved Plans and Specifications

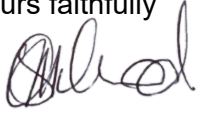
Document No./ Reference	Title (prepared by)	Date
C250-01 Rev-A	Proposed 3D view	05/07/2023
C250-01 Rev A Sheet 4291-A100	Proposed Site Plan by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A101	Existing - Upper Floor by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A102	Demolish - Upper Floor by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A103	Proposed - Upper Floor by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A101	Proposed – Elevation 1 by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A101	Proposed – Elevation 2 and 3 by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A101	Proposed – Elevation 4 and Section A-A by AAA Design and Development Pty Ltd	05/07/2023
C250-01 Rev A Sheet 4291-A101	Proposed – 3D Rear View by AAA Design and Development Pty Ltd	05/07/2023

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

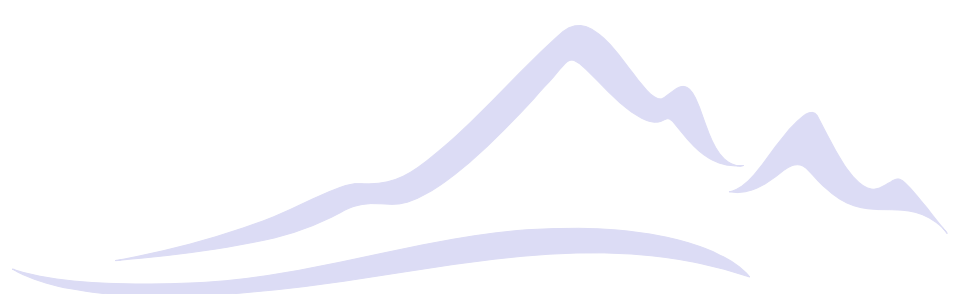
Yours faithfully

for 

Kim Mahoney

General Manager – Corporate and Community

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans



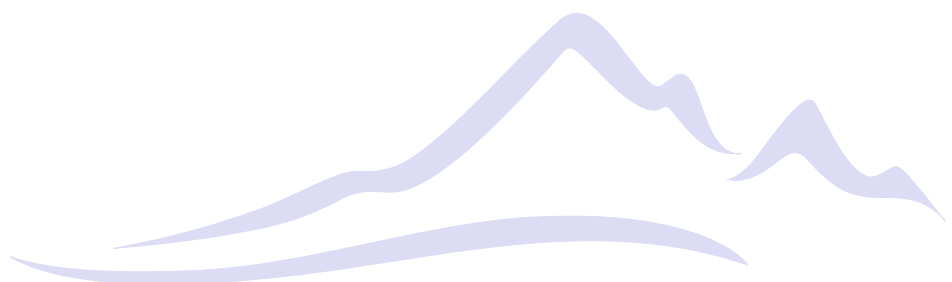
Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a form 21 final certificate for building works, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
2.	Submit to the Concurrence Agency a report by a suitably qualified person detailing if the structure has any Asbestos Cement Material (ACM), Asbestos Cement Products (ACP) as defined in the Australian Standards or the Building Code of Australia.
3.	Before the structure is moved to a site within the North Burnett Regional Council area— <ol style="list-style-type: none"> all Asbestos Cement Material (ACM), Asbestos Cement Products (ACP) must be removed; or submit to the Concurrence Agency an exemption certificate issued by WorkSafe Queensland.
Design and Siting	
4.	The approved dwelling must be sited generally in accordance with the endorsed plan, with all setbacks measured from the outermost projection of the structure.
5.	The height of the approved dwelling must not exceed the height above natural ground shown on the endorsed plan. Any earthworks required for the development must be undertaken in such a way as to ensure that the height of the building complies with this condition.
6.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
Use	
7.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
Removal/Resiting of a Dwelling or Other Structure	
8.	Complete all external works associated with the relocated dwelling within 12 months from the date of the development approval, or as otherwise approved in writing by the Concurrence Agency.
9.	All debris including any remaining stumps, foundations and plumbing fixtures must be removed from the site.
10.	The ground surface must be returned to a level state and must not contain trip hazards or excavations likely to be a safety risk.
Security	
11.	Provide a security to the Concurrence Agency to the amount of \$12,000.00 in the form of a cash bond, or an irrevocable bank guarantee that is to be maintained until such time as the Concurrence Agency provides written advice that the security (or part of the security) can be released. This security must be provided to the Concurrence Agency prior to the issue of the development approval for building works.
Works to be completed before Release of any Bond	
12.	Replace or make good all exterior wall cladding material so as to be free of any visible or performance related defects.

13.	Complete all external wall finishes so as to provide a surface that is free of flaking paint, stains or rust. Wall finishes are to be renewed or replaced so as to match the colour and finish of surrounding wall areas of the building or structure.
14.	Replace or make good all roof cladding materials so as to be free of any visible or performance related defects including rust, flaking paint or broken tiles.
15.	Provide a copy of Form 21 Final Certificate/s covering all building works carried out under this approval to ensure that the dwelling is fully compliant with the <i>Building Act 1975</i> including, but not limited to the following works: <ul style="list-style-type: none"> a. Relocation and restumping of dwelling including all foundations; and b. Frame, bracing and tie down whether new, or required for upgrade; and c. Any new works whether renovations, additions, or other to bring the structure up to required NCC Classification compliance.

Attachment 1B – Advice Notes

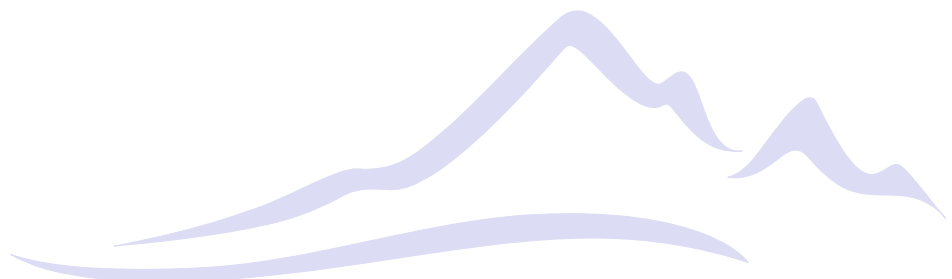
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Please note this amenity and aesthetics assessment pertains to the approval of a class 10 building only (defined as Domestic Carport, Shed and Garage (10a)). It is recommended that clarification from a Building Certifier be sought to ensure that an appropriate building classification is applied to align with the building size, purpose, use and intent of operations within the building.
D.	Prior to any alteration or modification of a building, it is recommended that an inspection be undertaken of the resite/removal dwelling or building by a qualified person/s to determine the existence of Asbestos Cement Material (ACM), Asbestos Cement Products (ACP) or any other material not deemed as an acceptable construction material as defined in the Australian Standards or the Building Code of Australia.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

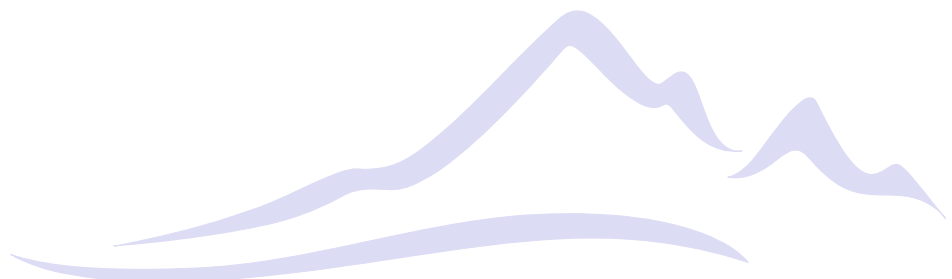
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- Under *Planning Regulations 2017* Schedule 9, Division 2, Table 7, Council can set an amount for security of the works and the *Building Act 1975* s93 allows for the security to be release. The amount of this security bond has been set by the North Burnett Regional Council under Council resolution adopted on the 15 June 2016.
- The currency period for a resited structure is legislated by the *Building Act 1975* s71(3)
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.
- To ensure that the development is carried out in accordance with the Work Health and Safety Regulation 2011.



Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.



RESIDENCE RELOCATION

CLIENT/S :
Marge Cochrane

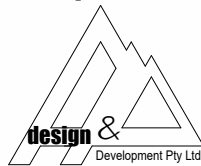
PROJECT ADDRESS:
24 Horton St,
BIGGENDEN, QLD 4621



PROPOSED – 3D VIEW

AAA Design & Development Pty Ltd

34/13 Norval Court, MAROOCHYDORE, QLD 4558
Tel/Fax: (07) 5479 6747
Mob: 0422 039 247
email: d.lesmes@aaaadesign.com.au



Project No :
C250-01 Rev-A
Sheet Issue Date :
05/07/2023

ARCHITECTURAL SCHEDULE

Sheet No	Name	Rev No
A100	Proposed – Site Plan	A
A101	Existing – Upper Floor	A
A102	Demolish – Upper Floor	A
A103	Proposed – Upper Floor	A
A104	Proposed – Elevation 1	A
A105	Proposed – Elevations 2, 3	A
A106	Proposed – Elevation 4. Section A-A	A
A107	Electrical – Upper Floor	A
A108	Proposed – Roof Plan	
A109	Proposed – 3D View	A
A110	General Notes	A
A111	Workplace Health and Safety 1 of 2	A
A112	Workplace Health and Safety 2 of 2	A

3D DRAWINGS & SKETCHES

ALL 3D DRAWINGS, RENDERED VISUALIZATIONS, WALK THROUGHs, PERSPECTIVES AND HAND SKETCHES ARE INDICATIVE ONLY. IN ALL CASES PLANS, ELEVATIONS, SPECIFICATIONS, DETAILS AND CLIENT SELECTIONS TAKE PRECEDENCE.

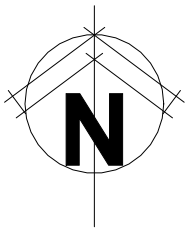
NOTE TO ALL

CONTRACTORS AND CERTIFIERS PLEASE NOTE: ONLY DRAWINGS MARKED “CONSTRUCTION SET” ARE IN DATE, AND STAMPED APPROVED BY A QBCC LICENSED PRIVATE BUILDING CERTIFIER SHALL BE USED FOR CONSTRUCTION. USE OF ANY OTHER SET IS A COPYRIGHT OFFENCE. COMMENCEMENT WITH NO APPROVAL WILL VOID ALL WARRANTIES, INSURANCES AND CLAIMS.

NOTE TO CERTIFIER

THESE DRAWINGS REMAIN VALID FOR CERTIFICATION ONLY IF THE LAST DATE IN THE ISSUE BOX ON ANY DRAWING IS NO GREATER THAN 12 MONTHS FROM THE DATE THAT THE BUILDING PERMIT IS BEING ISSUED TO THE BUILDER FOR COMMENCEMENT OF ANY WORKS. ANY BUILDING CERTIFIER THAT ISSUES A PERMIT ON OLD PLANS OR “NOT FOR CONSTRUCTION” SETS WILL BE IN BREACH OF COPYRIGHT LAWS, WILL NOT BE COVERED UNDER PROFESSIONAL INDEMNITY INSURANCES, AND TAKES 100% RESPONSIBILITY FOR ANY AND ALL ERRORS, DISCREPANCIES AND ALL OMISSIONS.

DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND DETAILS



NOTE TO A BUILDER: AN IDENTIFICATION SURVEY HAS NOT BEEN CARRIED OUT ON THIS PROPERTY - MUST BE DONE BEFORE COMMENCEMENT.

ALL BUILDING WORKS TO REMAIN WITHIN THE PROPERTY BOUNDARIES INCLUDING BUT NOT LIMITED TO: EARTHWORKS, FOOTINGS OR THE LIKE AND WALLS, EAVES, GUTTERS OR THE LIKE AND OR ANY STRUCTURES ON OR NEAR ANY PROPERTY BOUNDARY. IT IS THE RESPOSIBILITY OF THE APPLICANT/BUILDER/OWNER TO ENSURE THAT THIS IS COMPLIED WITH.

SITE PLAN NOTES

1. DIMENSIONS
A) ALL DIMENSIONS ARE TO BE CHECKED AND VARIFIED ON SITE PRIOR TO COMMENCEMENT.
B) GIVEN DIMENSIONS ARE TO TAKE PRIORITY OVER SCALED DIMENSIONS.
2. NOTATIONS ON PLANS
A) NOTATIONS ON ALL SUPPLIED DRAWINGS SHOULD NOT BE CONSIDERED NECESSARILY COMPLETE. ALL LEGISLATED REQUIREMENTS, REGULATIONS AND RECOMMENDATIONS IN PLACE AT THE TIME OF CONSTRUCTION SHOULD BE APPROPRIATELY FOLLOWED AND STRICTLY ADHERED TO AS REQUIRED.
B) GIVEN DIMENSIONS ARE TO TAKE PRIORITY OVER SCALED DIMENSIONS.
3. PLAN APPROVAL
THIS SET OF ISSUED PLANS REQUIRE LOCAL AUTHORITY CERTIFICATION BEFORE ANY WORKS ARE COMMENCED ON SITE INCLUDING ANY PREPARATORY EXCAVATION WORKS.
4. PAD CUT TO 1000 CLEAR OF BUILDING-1:20 FALL AWAY. ALL BANKS MIN 1:3 SLOPE. DRIVEWAY MAX 1:6 SLOPE OR 1:4 WITH 1:8 TRANSITIONS. SPOON DRAINS TO BASE OF ALL CUTS-1:200 FALL CLEAR OF BUILDING PAD.
5. TERMITE PROTECTION
ALL TERMITE PROTECTION IS TO IN ACCORDANCE WITH AS 3660.1 AND PROFESSIONAL PEST TREATMENT/BARRIER METHOD ADVICE. IT IS ALSO STRESSED THAT TERMITES CAN BRIDGE OR BREACH BARRIER SYSTEMS AND THAT REGULAR THOROUGH INSPECTIONS OF THE BUILDING ARE NECESSARY.

SITE INFO

STATUTORY INFORMATION

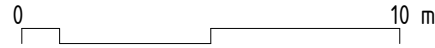
BUILDING CLASSIFICATION: 1a
STOREYS: 1
CLIMAT ZONE: 2
WIND CATEGORY: N3

REAL PROPERTY DESCRIPTION

LOT: 22 On SP198429
LOT / SITE AREA (m²): 1003 m²
LOCAL GOVERMENT: NORTH BURNETT

PROPOSED - SITE PLAN

SCALE 1 : 200



AAA Design & Development Pty Ltd

34/13 Norval Court, MAROOCHYDORE, QLD 4558
Tel/Fax: (07) 5479 6747
Mob: 0422 039 247
email: d.lesmes@aaadesign.com.au

design & development
Pty Ltd

No.	Description	Date
A	PRELIMINARY	04/05/2023

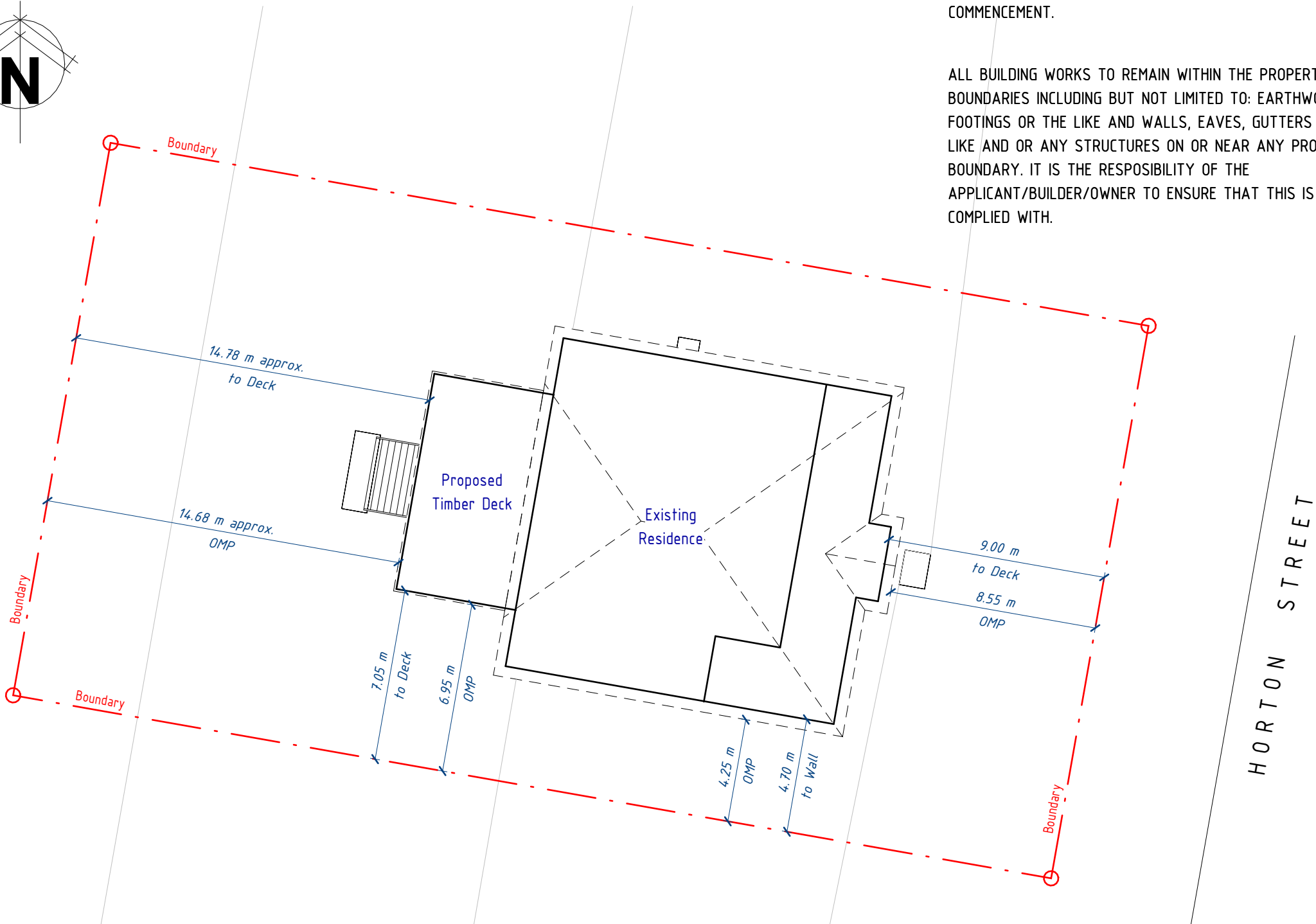
Marge Cochrane
24 Horton St,
BIGGENDEN, QLD 4621
RESIDENCE RELOCATION

APPROVED

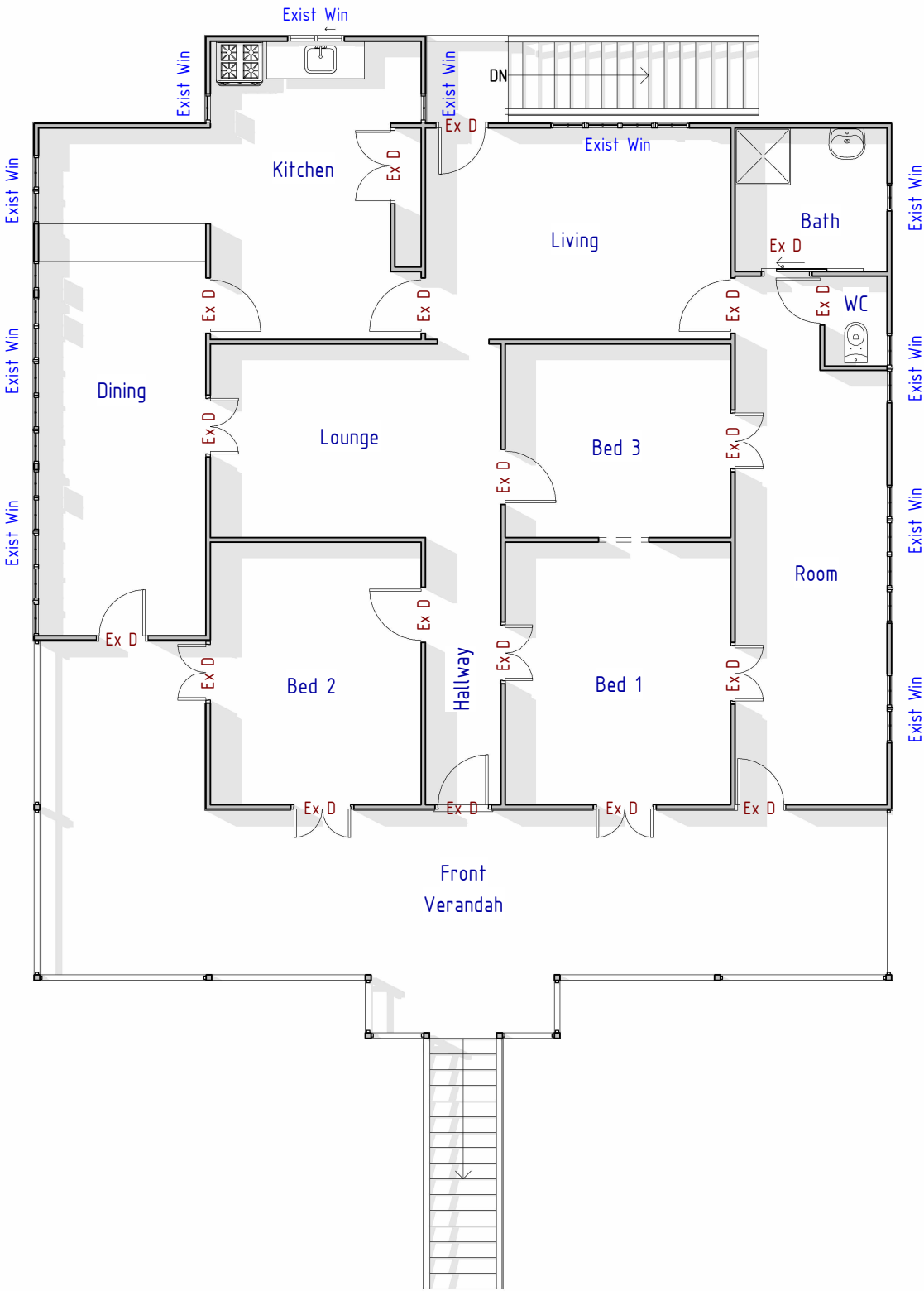
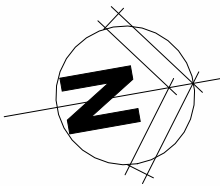
For & on behalf of AAA
Design & Development Consulting

Proposed - Site Plan

Project number	C250-01	4291- A100	Revision
Date	05/07/2023		A
Drawn by	R.S.		
Checked by	D.L.T.	Scale @A3	As indicated




DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND DETAILS



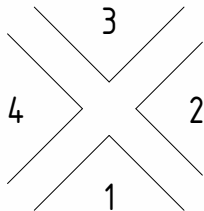
EXISTING - UPPER FLOOR

SCALE 1 : 100

LEGEND	
CODE	ITEM
FW	Floor Waste
HWS	Hot Water System
WM	Washing Machine
SD 	Smoke detector alarm wired to consumer mains power

WINDOWS & DOORS	
CODE	ITEM
FW	Fix Glass Window
STD	Stacking Door

ELEVATION LEGEND



BEDROOM WINDOWS

BEDROOM WINDOWS TO BE RESTRICTED TO MAX 125mm OPENINGS WHERE THE SILL HEIGHT IS LESS THAN 1700mm ABOVE FFL AND THE FALL EXCEEDS 2M TO THE SURFACE BENEATH IN ACCORDANCE WITH 3.9.2.5 OF BCA VOL 2

SMOKE ALARMS NOTE

FROM JAN 2017 ALL HOUSES MUST HAVE SMOKE ALARMS IN BEDROOM HALLWAYS, EVERY BEDROOM AND BETWEEN LIVING AREAS AND BEDROOMS AND ON EVERY LEVEL. ALL SMOKE ALARMS MUST BE INTERCONNECTED WITH 10 YEAR LITHIUM BATTERY INSTALLED.



APPROVED

For & on behalf of AAA Design & Development Consulting

Marge Cochrane

24 Horton St,
BIGGENDEN, QLD 4621

RESIDENCE RELOCATION

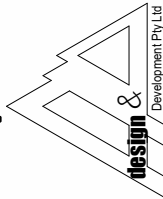
AAA Design & Development Pty Ltd

34/13 Norval Court, MAROOCHYDORE, QLD 4558

Tel/Fax: (07) 5479 6747

Mob: 0422 039 247

email: d.lesmes@aaaadesign.com.au



Existing - Upper Floor

Project number C250-01

Date 05/07/2023

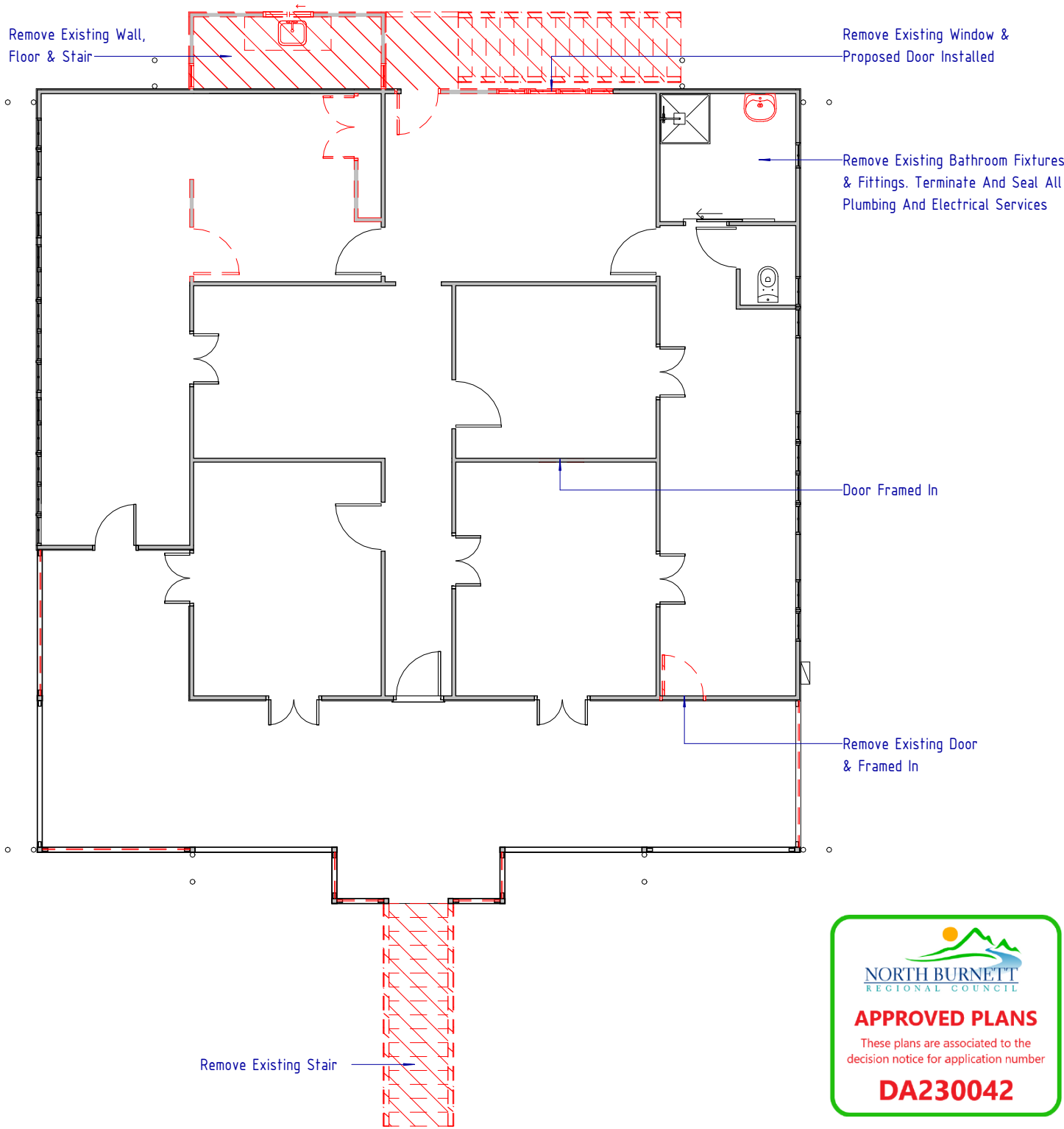
Drawn by R.S.

Checked by D.L.T.

Revision
4291-A101

Scale @A3

As indicated
A



DEMOLITION LEGEND

- - - - - REMOVED ELEMENTS
- DEMOLISHED WALLS/ELEMENTS

- 10) All work shall be carried out in protected space. No dust or dirt shall travel from construction area to adjacent areas. Temporary dust protection shall be erected prior to start of work. Contractors shall review provisions to control airborne dust with Facilities-building manager and construction manager. Coordinate additional filtration of exterior air intakes to mechanical systems.
- 11) Cap off and terminate all services as required. Coordinate termination of existing services in conjunction with all new services drawings to ensure integrity of remaining existing services is not disrupted or compromised during the construction period.
- 12) Any floor openings shall be covered during demolition and construction.

DEMOLITION NOTES

- 1) Dashed lines on demo plans represent items to be removed. Patch, repair and make good existing and adjoining areas, surfaces and finishes as required to match and align with proposed finishes.
- 2) The contractor shall not consider demolition and alteration notes to be all inclusive. It is the contractor's responsibility to inspect and assess each area and to fulfil the intent of the design indicated by the contract documents. The Contractor shall coordinate architectural demolition drawings and notes in conjunction with structural, HVAC, electrical, fire protection and plumbing drawings and notes etc. Patch or rebuild any elements remaining that have been damaged or disturbed by Structural, HVAC electrical, fire protection and plumbing demolition.
- 3) For all surfaces scheduled to remain, patch and match surfaces disturbed by demolition or removal of equipment or utilities. Install patching to match adjacent work in finish, structural qualities, coursing of masonry, and other characteristics. Patch surfaces to comply with fire ratings, smoke-tight ratings, acoustical criteria and other performance criteria indicated.
- 4) All demolition shall be performed in a safe and acceptable manner to all authorities having jurisdiction and the owner. A fire watch shall be provided if any hazardous situations are thought to be possible. Comply with Governing regulations pertaining to environmental protection for pollution control. Thoroughly clean adjacent areas of dust, dirt and debris caused by demolition work. Before new work begins, return adjacent areas to condition found prior to start of demolition work.
- 5) The contractor shall verify all conditions and dimensions within the Contract documents and confirm site set out and building dimensions. The contractor shall notify the architect immediately in writing of any deviation from contract documents necessitated by field conditions or items not covered.
- 6) Maintain access to exits and exit stairs at all times. Fire alarm and smoke detection system and emergency lighting and exit signs shall remain operational at all times. Protect smoke detectors as required and in conformance with codes and local authorities having jurisdiction.
- 7) Hazardous material note: The contractor shall stop work and inform both the architect and principal immediately in writing of any hazardous material encountered or thought to be hazardous material. The architect after receiving written notice shall instruct contractor on how to proceed.
- 8) Prior to any demolition, the contractor shall coordinate and review existing bracing systems so as to maintain the structural integrity of the remaining elements of the building and its systems as required during the construction period. The contractor shall be responsible for the support of adjacent structures during demolition and new construction work. The contractor shall provide all temporary shoring, scaffolding, etc., which are necessary to prevent collapse, subsidence, deflection or any other type of damage. Repair all fire proofing systems and mechanisms damaged during demolition work to ensure its integrity and associated fire rating is maintained.
- 9) Provide temporary partitions/dust protection (rated and/or non-rated) as required. Review locations of temporary partitions/dust protection with architect and principal prior to the commencement of work.

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email: d.lesmes@aaaadesign.com.au

design & development


Development Pty Ltd

Marge Cochrane

24 Horton St,
BIGGENDEN, QLD 4621

RESIDENCE RELOCATION

APPROVED



For & on behalf of AAA
Design & Development Consulting

Demolish - Upper Floor

Project number

C250-01

Date

05/07/2023

Drawn by

R.S.

Checked by

D.L.T.

Revision

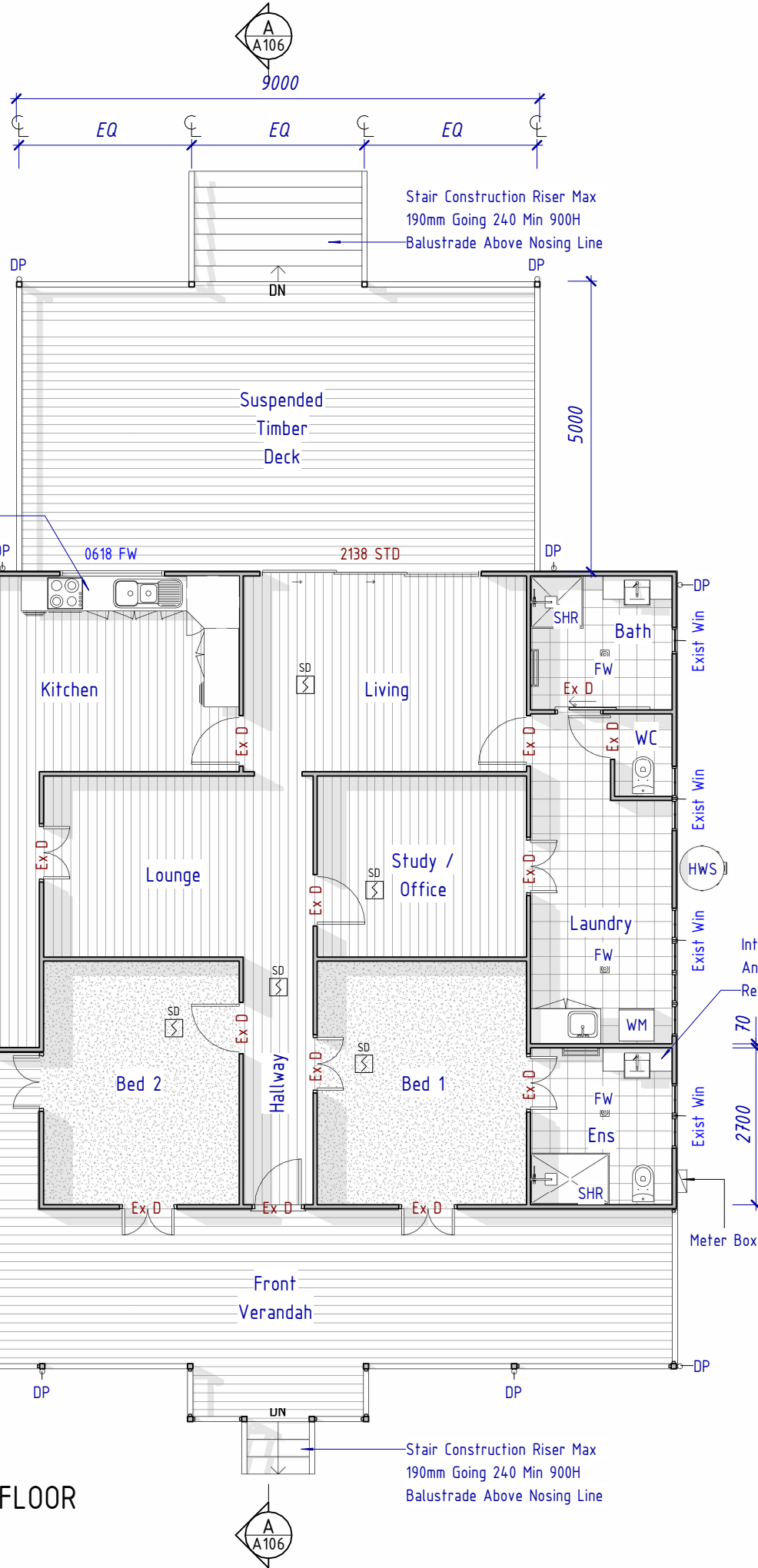
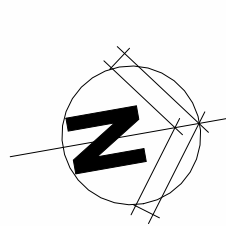
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Scale

@A3

As indicated

DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT ENGINEERS DESIGN AND DETAILS



PROPOSED - UPPER FLOOR

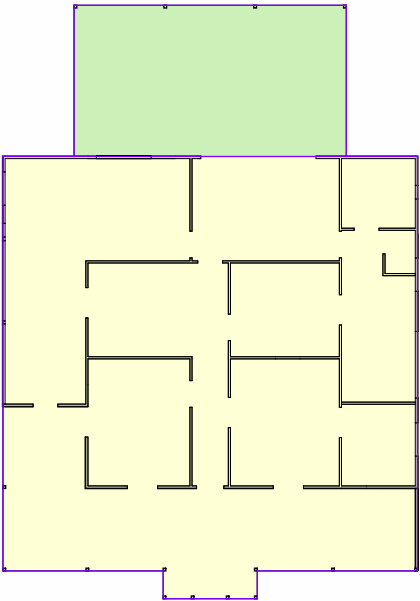
SCALE 1 : 100

AREA LEGEND

- Existing Residence
- Proposed Timber Deck

AREA SCHEDULE

Name	Area
Ground Floor	
Proposed Timber Deck	45.00 m ²
	45.00 m ²



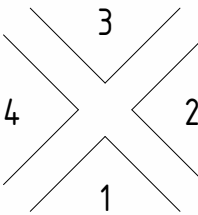
LEGEND

CODE	ITEM
FW	Floor Waste
HWS	Hot Water System
WM	Washing Machine
SD	Smoke detector alarm wired to consumer mains power

WINDOWS & DOORS

CODE	ITEM
FW	Fix Glass Window
STD	Stacking Door

ELEVATION LEGEND



FLOOR FINISH LEGEND

- Carpet
- Tile Floor
- Timber Floor
- Timber Floor.

BEDROOM WINDOWS

BEDROOM WINDOWS TO BE RESTRICTED TO MAX 125mm OPENINGS WHERE THE SILL HEIGHT IS LESS THAN 1700mm ABOVE FFL AND THE FALL EXCEEDS 2M TO THE SURFACE BENEATH IN ACCORDANCE WITH 3.9.2.5 OF BCA VOL 2

SMOKE ALARMS NOTE

FROM JAN 2017 ALL HOUSES MUST HAVE SMOKE ALARMS IN BEDROOM HALLWAYS, EVERY BEDROOM AND BETWEEN LIVING AREAS AND BEDROOMS AND ON EVERY LEVEL. ALL SMOKE ALARMS MUST BE INTERCONNECTED WITH 10 YEAR LITHIUM BATTERY INSTALLED.

APPROVED

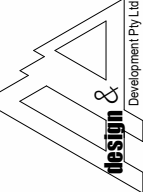
[Signature]

For & on behalf of AAA Design & Development Consulting

Marge Cochrane

24 Horton St,
BIGGENDEN, QLD 4621
RESIDENCE RELOCATION

AAA Design & Development Pty Ltd

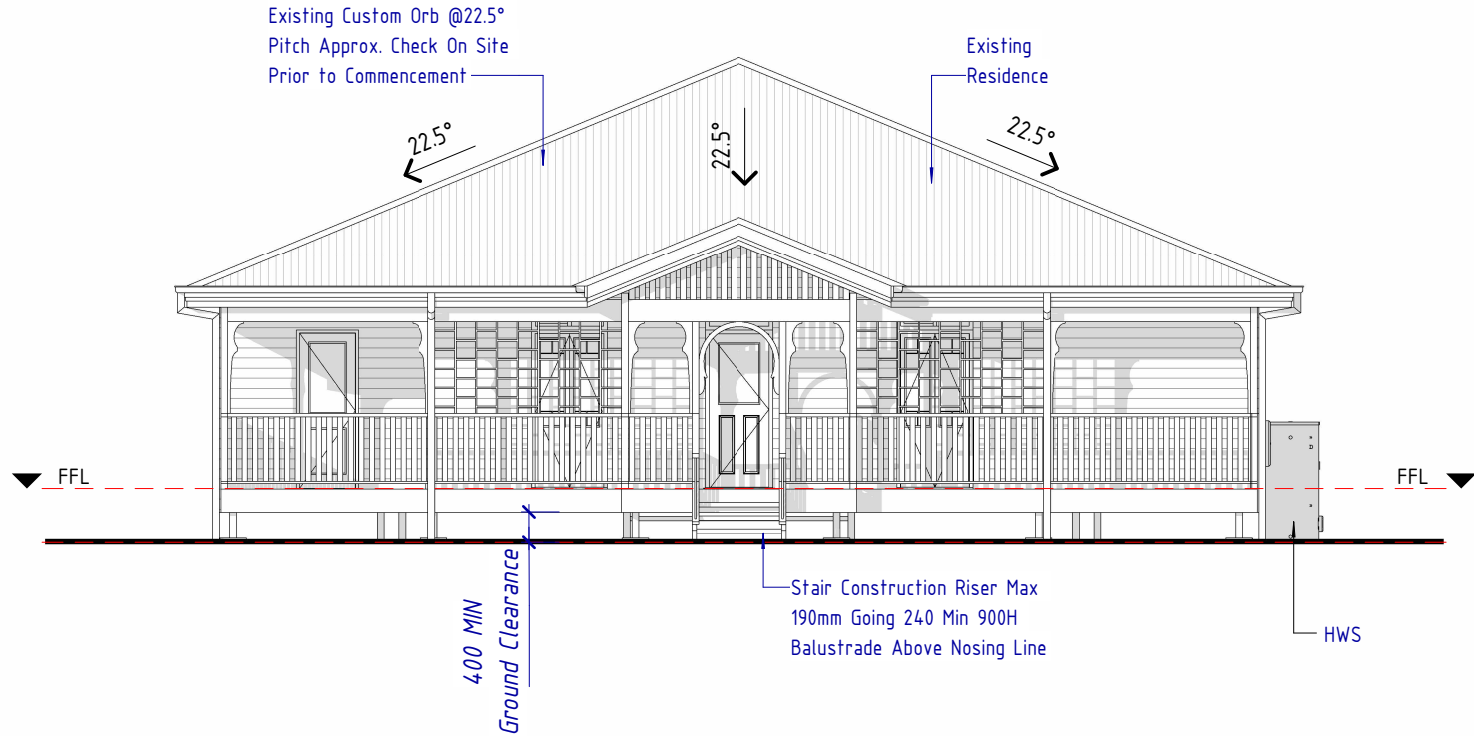


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Mob: 0422 039 247
email: d.lesmes@aaaadesign.com.au

Proposed - Upper Floor

Project number	C250-01	Revision	A
Date	05/07/2023		
Drawn by	R.S.		
Checked by	D.L.T.		
		Scale @A3	As indicated

4291-A103



PROPOSED – ELEVATION 1
SCALE 1 : 100

NOTES

1. Glazing
All glass windows and doors are to comply with Australian Standard 2047 and or 1288-1990.

2. Waterproofing
The waterproofing of wet areas is to be installed in accordance with AS 3740.

3. Energy Efficiency Climate Zone 2
a) With regard to the Energy Efficiency requirements of BCA 3.12.5, the hot water supply system shall be designed and installed in accordance with Section 6A of AS/NZS 3500.4.2, or AS/NZS 3500.5, except if a solar hot water supply system is installed.
- b) External walls are to be covered with sisalation and are to have a minimum of R1.5 insulation.
c) The roof is to a minimum of medium weight sisalation and a minimum of R2.5 insulation.
d) The R value in bulk insulation is reduced if compressed at the time of insulation. It is recommended that adequate space be allotted for the installation of the insulation.

4. Sustainable Housing
All Class 1 building work must comply with the Queensland Development Code Part 29 Sustainable Building.

a) Water conservation

 - Toilets - min. 4 star WELS rated.
 - Tapware - min. 3 star WELS for kitchen sink, basins and laundry trough.
 - Showerheads - min. 3 star WELS

- b) Energy conservation
- Energy efficient lighting requirement applies to all new houses, townhouses their enclosed attached garage or carport.
 - Light fittings must be energy efficient to a min. of 80% of the total fixed internal lighting.
 - This requirement also applies to existing dwellings when undertaking alterations and additions or relocations.

ALL INTERNAL & EXTERNAL COLOURS & FINISHES TO CLIENT SELECTION



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No.	Description	Date
A	PRELIMINARY	04/05/2023

Marge Cochrane

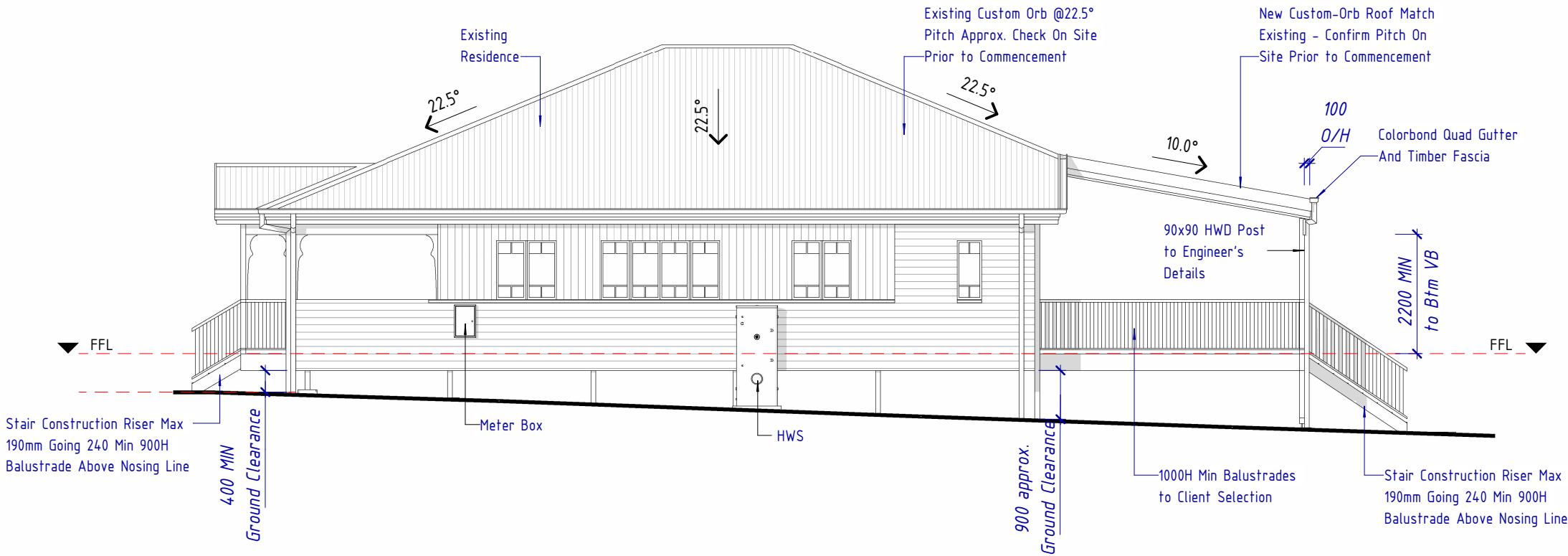
24 Horton St,
BIGGENDEN, QLD 4621

RESIDENCE RELOCATION

APPROVED		Proposed - Elevation 1	
Project number	C250-01	4291- A104	Revision
Date	05/07/2023		A
Drawn by	R.S.		
Checked by	D.L.T.	Scale @A3	As indicated

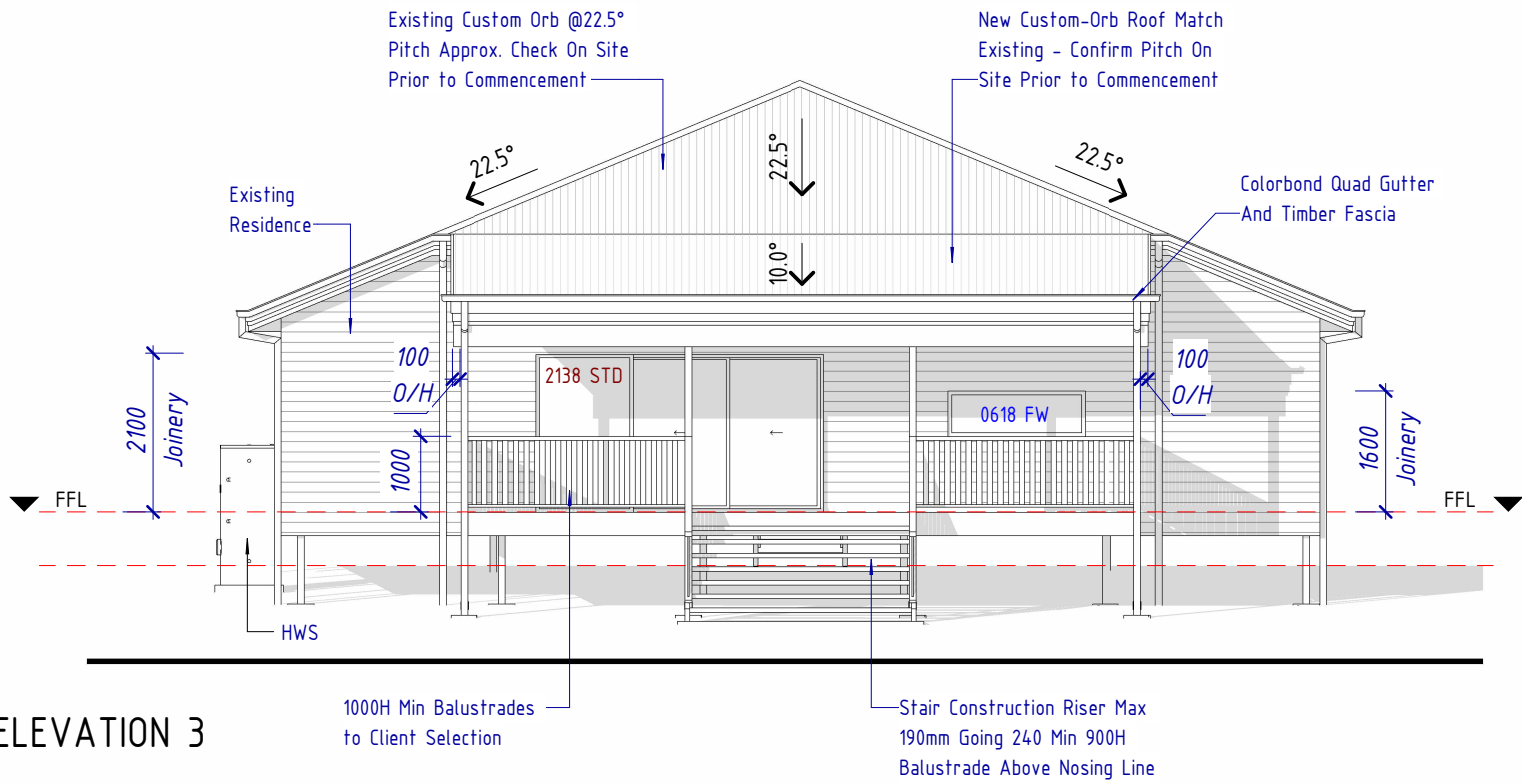
CONSTRUCTION SET

This set has been fully checked & issued by the certifier for construction. Refer ALL discrepancies to the certifier. Copyright released for single-use at a nominated site only. Substitutions and changes MUST be approved by the designer.



PROPOSED - ELEVATION 2

SCALE 1 : 100



PROPOSED - ELEVATION 3

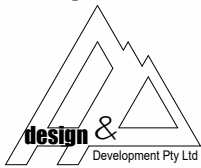
SCALE 1 : 100



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No.	Description	Date
A	PRELIMINARY	04/05/2023

Marge Cochrane
24 Horton St,
BIGGENDEN, QLD 4621
RESIDENCE RELOCATION

APPROVED

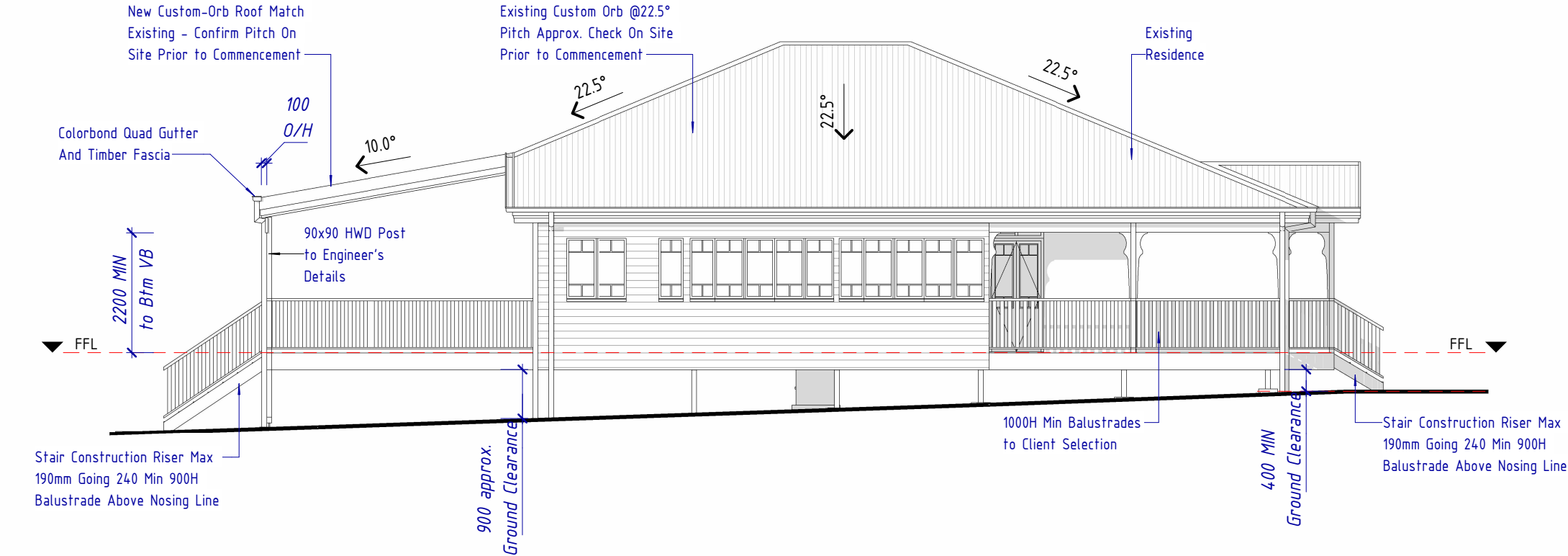
For & on behalf of AAA
Design & Development Consulting

Proposed - Elevations 2, 3

Project number	C250-01	4291- A105	Revision
Date	05/07/2023		A
Drawn by	R.S.		
Checked by	D.L.T.	Scale @A3	As indicated

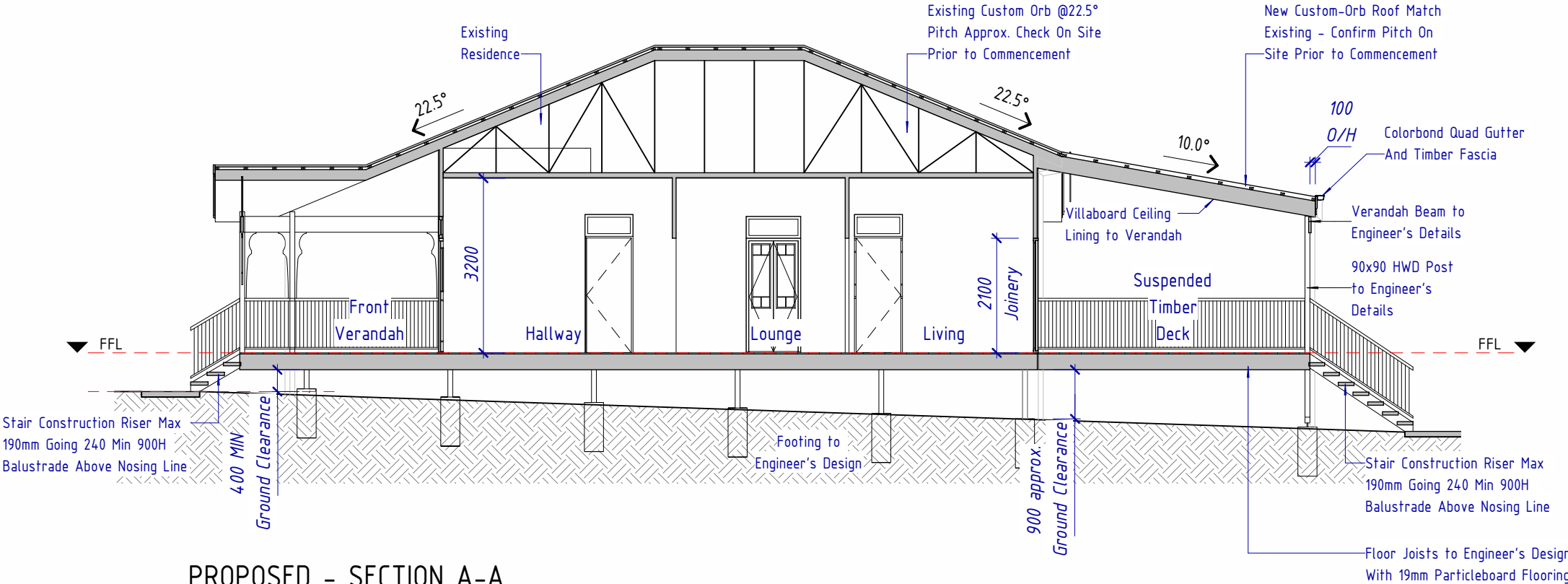
CONSTRUCTION SET

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PROPOSED - ELEVATION 4

SCALE 1 : 100



PROPOSED - SECTION A-A

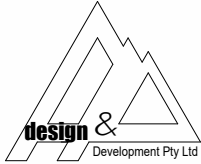
SCALE 1 : 100



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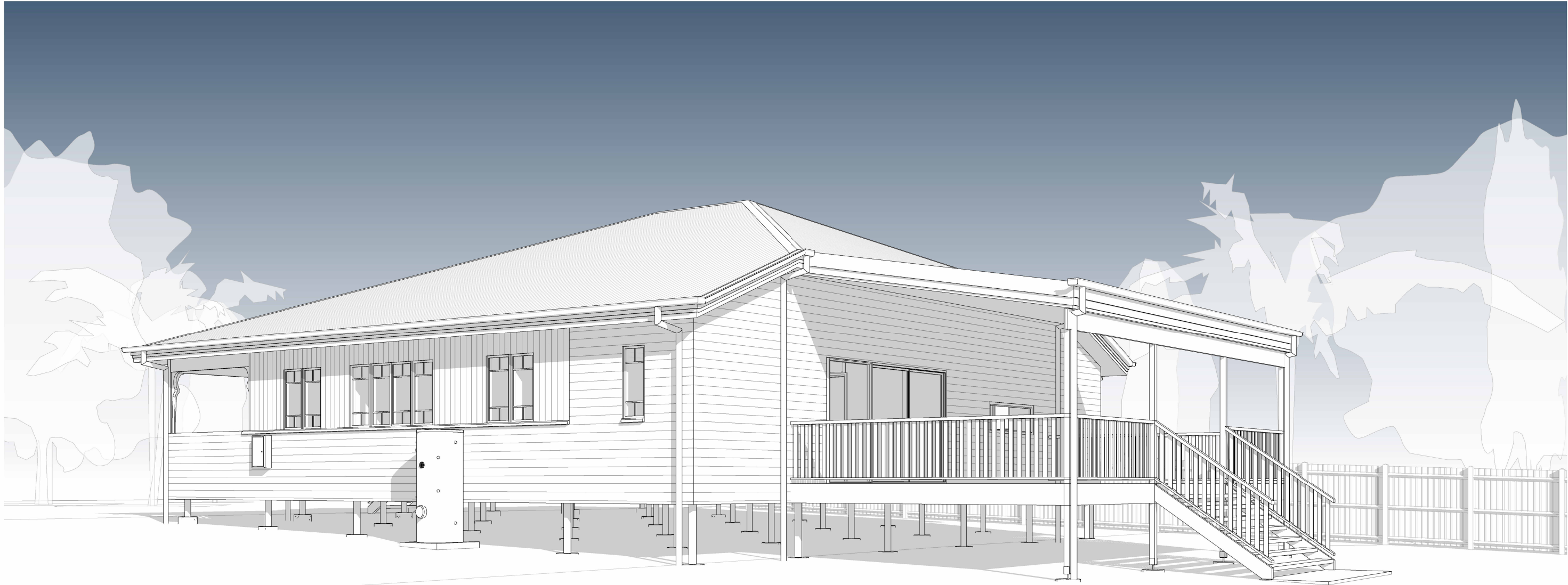
No.	Description	Date
A	PRELIMINARY	04/05/2023

Marge Cochrane
24 Horton St,
BIGGENDEN, QLD 4621
RESIDENCE RELOCATION

APPROVED

For & on behalf of AAA
Design & Development Consulting

Proposed - Elevation 4. Section A-A			
Project number	C250-01	4291- A106	Revision
Date	05/07/2023		A
Drawn by	R.S.	Scale @A3	As indicated
Checked by	D.L.T.		



PROPOSED - 3D REAR VIEW

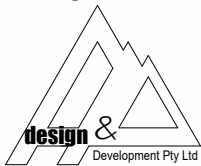


3D DRAWINGS & SKETCHES

ALL 3D DRAWINGS, RENDERED VISUALIZATIONS, WALK THROUGHS, PERSPECTIVES AND HAND SKETCHES ARE INDICATIVE ONLY. IN ALL CASES PLANS, ELEVATIONS, SPECIFICATIONS, DETAILS AND CLIENT SELECTIONS TAKE PRECEDENCE.


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No.	Description	Date
A	PRELIMINARY	04/05/2023

Marge Cochrane
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BIGGENDEN, QLD 4621
RESIDENCE RELOCATION

APPROVED

For & on behalf of AAA
Design & Development Consulting

Proposed - 3D View			
Project number	C250-01	4291- A109	Revision
Date	05/07/2023		A
Drawn by	R.S.		
Checked by	D.L.T.		As indicated
		Scale @A3	

Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

