

# DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use *DA Form 1 – Development application details* and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Margaret Cochrane
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	775 Coles Creek Road
Suburb	Pomona
State	QLD
Postcode	4568
Country	Australia
Contact number	0439 989 982
Email address (non-mandatory)	marg@margcochrane.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

### 2) Location of the premises (complete 2.1 and 2.2 if applicable)

**Note:** Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#).

#### 2.1) Street address and lot on plan

- Street address **AND** lot on plan (all lots must be listed), **or**  
 Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).



Unit No.	Street No.	Street Name and Type	Suburb
	24	Horton Street	Biggenden
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4621	22	SP198429	North Burnett Regional

### 2.2) Additional premises

- Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- Not required

### 3) Are there any existing easements over the premises?

**Note:** Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- No

## PART 3 – FURTHER DETAILS

### 4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)
- No

### 5) Identify the assessment manager(s) who will be assessing this development application

### 6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application
- The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- No

### 7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application
- I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

### 8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application
- No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – a copy of the receipted QLeave form is attached to this development application
- No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached
- No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:	Place ID:

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application
- No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application
- No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (if applicable)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	
Contact name (applicable for companies)	Graham Larsen
Postal address (P.O. Box or street address)	569 McIntosh Creek Road
Suburb	McIntosh Creek
State	4570

Postcode	
Country	
Contact number	
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Ocean to Outback
Contact name <i>(applicable for companies)</i>	Graham Larsen
QBCC licence or owner – builder number	077 094
Postal address <i>(P.O. Box or street address)</i>	569 McIntosh Creek Road
Suburb	McIntosh Creek
State	QLD
Postcode	4570
Contact number	0427 739 939
Email address <i>(non-mandatory)</i>	
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 16) Provide details about the proposed building work

What type of approval is being sought?

- Development permit  
 Preliminary approval

b) What is the level of assessment?

- Code assessment  
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- |   |  |
|---|--|
| <input type="checkbox"/> New building or structure  | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition   | <input checked="" type="checkbox"/> Relocation or removal  |

d) Provide a description of the work below or in an attached schedule.

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input checked="" type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input checked="" type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

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g) New building use/classification? (if applicable)
h) Relevant plans <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>
<input type="checkbox"/> Relevant plans of the proposed works are attached to the development application

<b>17) What is the monetary value of the proposed building work?</b>
\$

<b>18) Has Queensland Home Warranty Scheme Insurance been paid?</b>		
<input type="checkbox"/> Yes – provide details below		
<input checked="" type="checkbox"/> No		
Amount paid	Date paid (dd/mm/yy)	Reference number
\$		

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

<b>19) Development application checklist</b>	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	<input checked="" type="checkbox"/> Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not applicable
Relevant plans of the development are attached to this development application <i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see <a href="#">DA Forms Guide: Relevant plans</a>.</i>	<input type="checkbox"/> Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 9)	<input type="checkbox"/> Yes <input type="checkbox"/> Not applicable

<b>20) Applicant declaration</b>
<input checked="" type="checkbox"/> By making this development application, I declare that all information in this development application is true and correct
<input checked="" type="checkbox"/> Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i>
<i>Note: It is unlawful to intentionally provide false or misleading information.</i>
<b>Privacy</b> – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , <i>Planning Regulation 2017</i> and the DA Rules except where: <ul style="list-style-type: none"> <li>• such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the <i>Planning Regulation 2017</i>, and the access rules made under the <i>Planning Act 2016</i> and <i>Planning Regulation 2017</i>; or</li> <li>• required by other legislation (including the <i>Right to Information Act 2009</i>); or</li> <li>• otherwise required by law.</li> </ul> This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference numbers:

### For completion by the building certifier

Classification(s) of approved building work

Name	QBCC Certification Licence number	QBCC Insurance receipt number

### Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

### Additional information required by the local government

Confirm proposed construction materials:

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

### QLeave notification and payment

*Note: For completion by assessment manager if applicable*

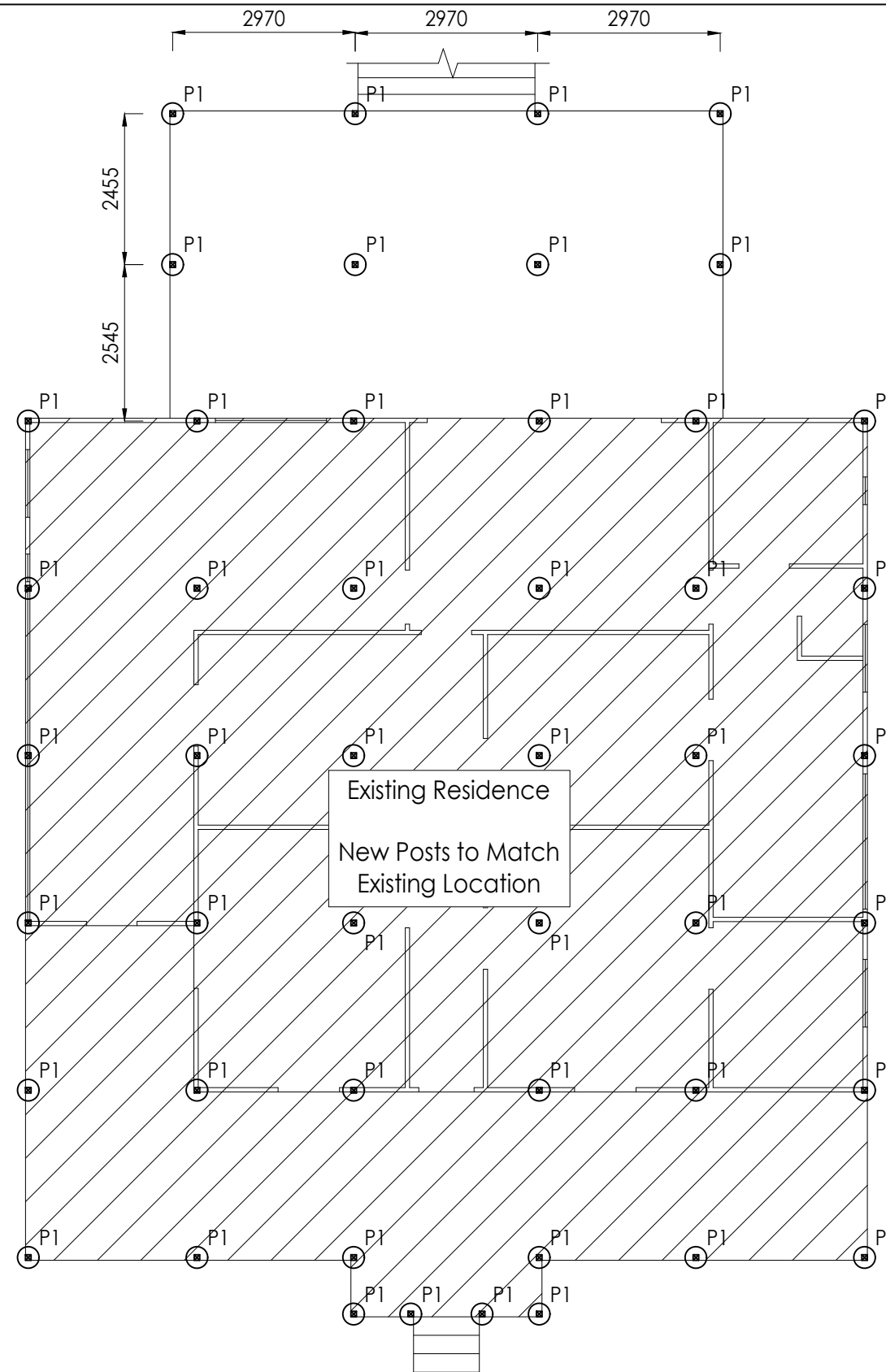
Description of the work			
QLeave project number			
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

### Additional building details required for the Australian Bureau of Statistics

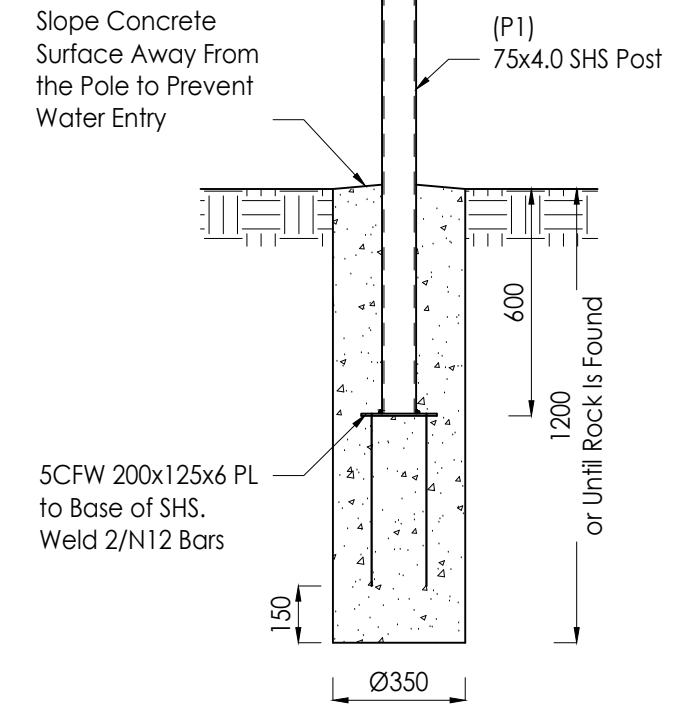
Existing building use/classification? (if applicable)			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	

## CONCRETE/FOUNDATION NOTES:

- All concrete shall be 25MPa UNO with 20mm nominal maximum aggregate size and 80mm slump to AS3600.
- No on site water to be added to the concrete unless approved by the engineer.
- All Concrete to be mechanically vibrated so that the concrete is fully compacted U.N.O.
- Concrete is to be cured for a minimum of 7 days after initial set. The curing method is to be approved by the engineer.
- Cover to reinforcement to be 40mm for all steelwork.
- Concrete shall not be poured when the air temperature is greater than 38 degrees or less than 5 degrees.
- Concrete footings and floors to be inspected by the engineer prior to pouring. The engineer is to be given 24 hrs. notice of such an inspection being required.
- Slab Mesh is to be lapped so as the two outermost transverse wires of one sheet overlap the two outermost transverse wires of the other sheet.
- All Reinforcement shall be adequately supported before commencement of concrete pour to ensure cover and placement of steel is maintained.
- Controlled Fill shall be clean granular material (free of clay) compacted to 95% standard compaction in layers no greater than 150mm.
- FOUNDATION MATERIAL: Organic Material, soft spots, top soil and any other deleterious material shall be removed from footing or slab excavations. Excavations shall then be proof rolled and soft spots replaced with controlled fill if under slabs or 15Mpa mass concrete if under footings. Site to have a nominal bearing capacity of 100kPa and classification not greater than 'S'.  
Soil test by Unearthed Geotechnical Report No. 023-128
- Footings shall be founded below the bottom of existing or proposed adjoining service trenches. Excavations shall not be taken below the bottom of adjoining footings.
- The site shall be graded so that water cannot pond against or near the house.
- Care should be taken to control the flora so as to not adversely affect the drainage of the site.
- Site Classification "H1"



FOOTING LAYOUT  
SCALE 1:100



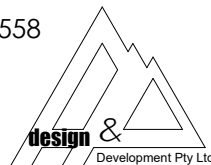
(P1) SHS POST DETAIL  
SCALE 1:20

Mass Concrete Footing MIN  
Concrete Strength  $F'c=25MPa$   
Maximum Aggregate = 10mm  
Slump 50-75mm  
All Concrete to be Vibrated  
During Placement

MATERIAL LIST		
P1	Post	75x4.0 SHS Post

## AAA Design & Development Pty Ltd

34/13 Norval Court, MAROOCHYDORE, QLD 4558  
Tel/Fax: (07) 5479 6747  
Mob: 0422 039 247  
email: d.lesmes@aaadesign.com.au



No.	Description	Date

MARGE COCHRANE

24 Horton St,  
BIGGENDEN, QLD 4621

RESIDENCE RELOCATION

APPROVED

Jose David Lesmes Tirado

BEng, MIEAust, RPEQ 7198  
For & on behalf of AAA  
Design & Development Consulting

## CONCRETE FOOTING LAYOUT

Project number C250-01

Date 11/07/2023

Drawn by R.S.

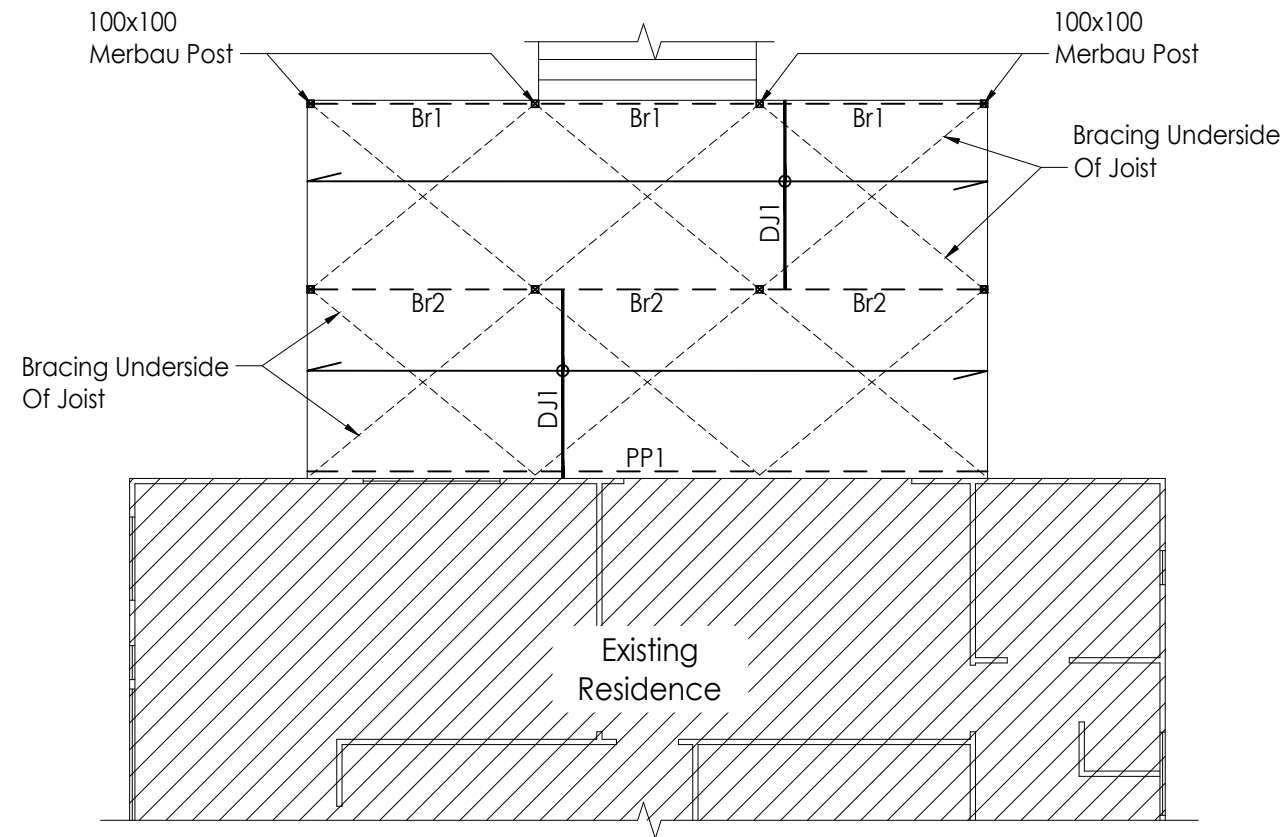
Checked by D.L.T.

4291 - 01

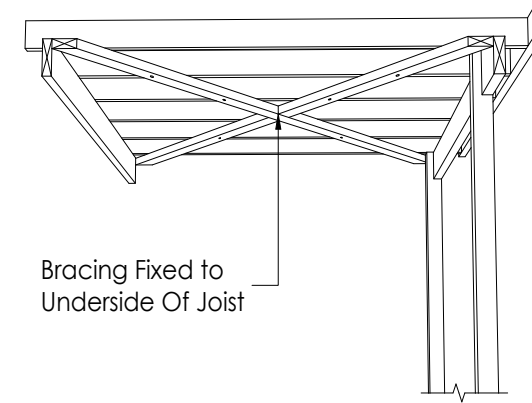
Scale @ A3

As shown

FLOOR DESIGNED FOR  
 DISTRIBUTED: 2.0 kPa  
 CONCENTRATED: 1.8kN

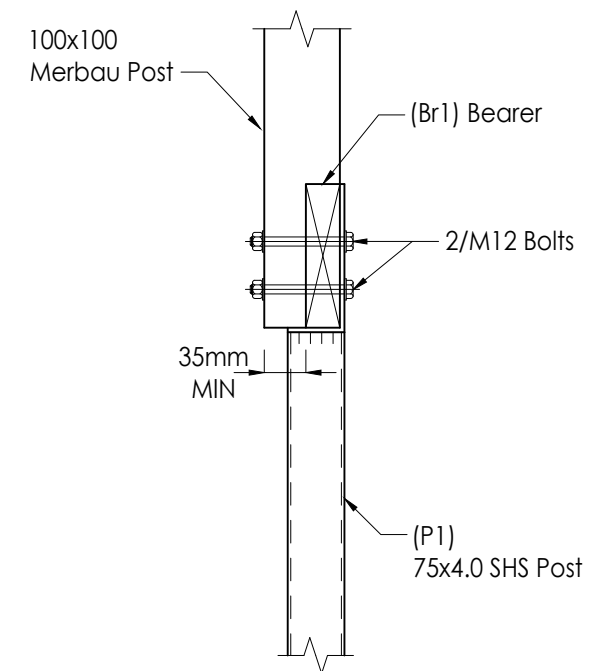


FLOOR LAYOUT  
 SCALE 1:100



NOTE:

Timber Braces Shall Be Double Diagonal 100 x 38 mm Hardwood Or 90 x 45 mm Treated Pine, Halved At The Crossing.  
 Decks Double Diagonal Bracing Fixed To The Underside Of Joists With Each Brace Fixed To Each Joist With 75 mm No. 14 Type 17 Batten Screws Or Two 75 x 3.15 mm Nails



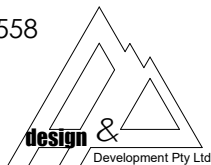
BEARER TO POST  
 TYPICAL FIXING DETAIL

NTS

MATERIAL LIST		
Br1	Bearer	2/190x45 MGP10 Treated or 290x45 MGP10 Treated
Br2	Bearer	2/290x45 MGP10 Treated or 290x42 Merbau GL17S
DJ1	Deck Joist	140x35 MGP10 @450 Crs Treated Continuous or 140x45 MGP10 @450 Crs Treated Single Span
PP1	Pole Plate	2/190x45 MGP10 Treated or 290x45 MGP10 Treated

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 Tel/Fax: (07) 5479 6747  
 Mob: 0422 039 247  
 email: d.lesmes@aaadesign.com.au



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FLOOR LAYOUT

Project number C250-01

Date 11/07/2023

Drawn by R.S.

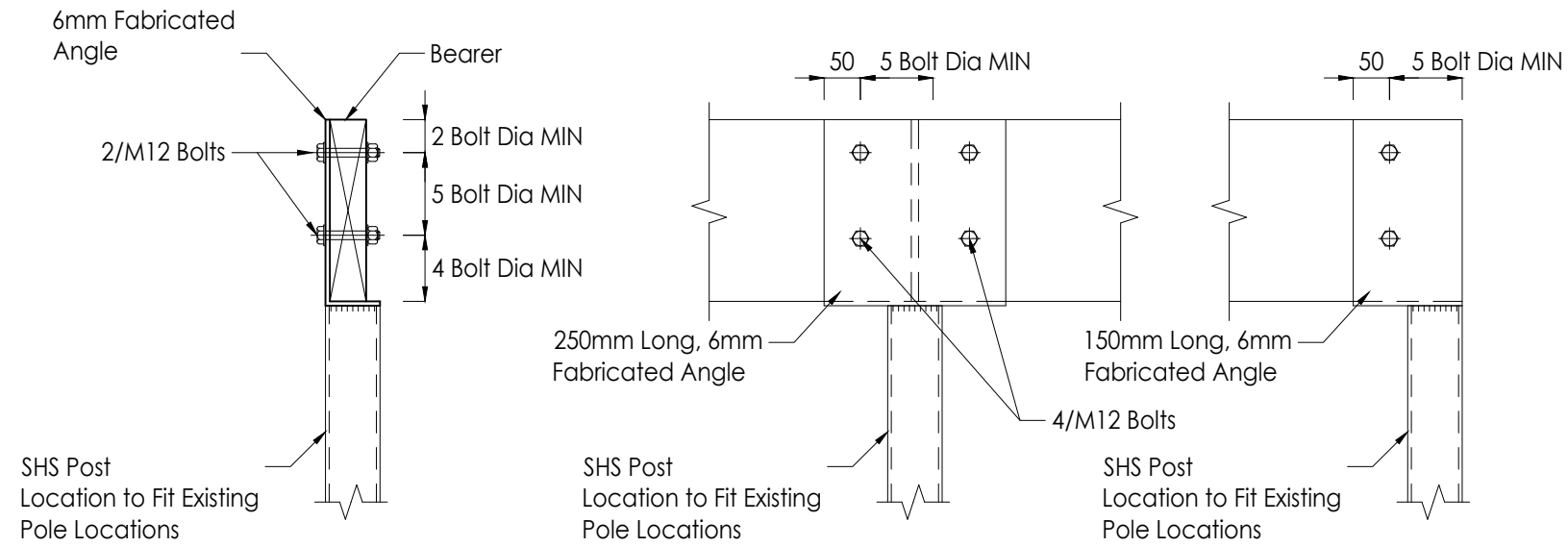
Checked by D.L.T.

4291 - 02

Scale @ A3

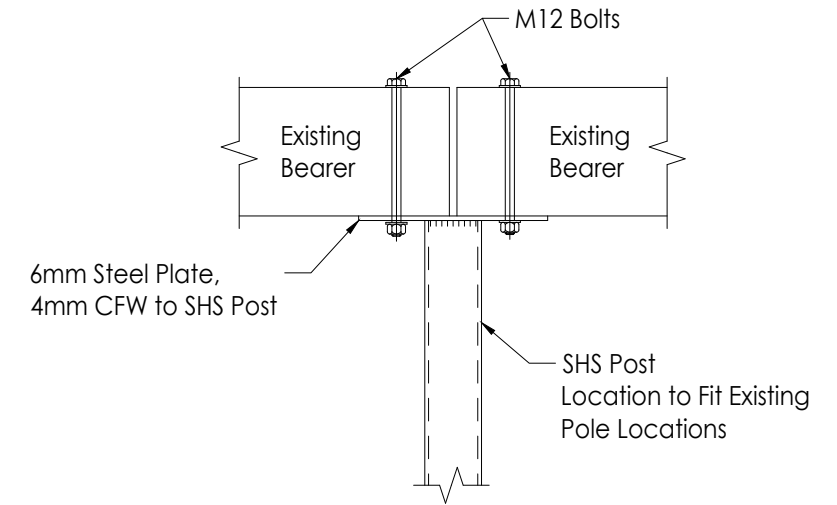
As shown





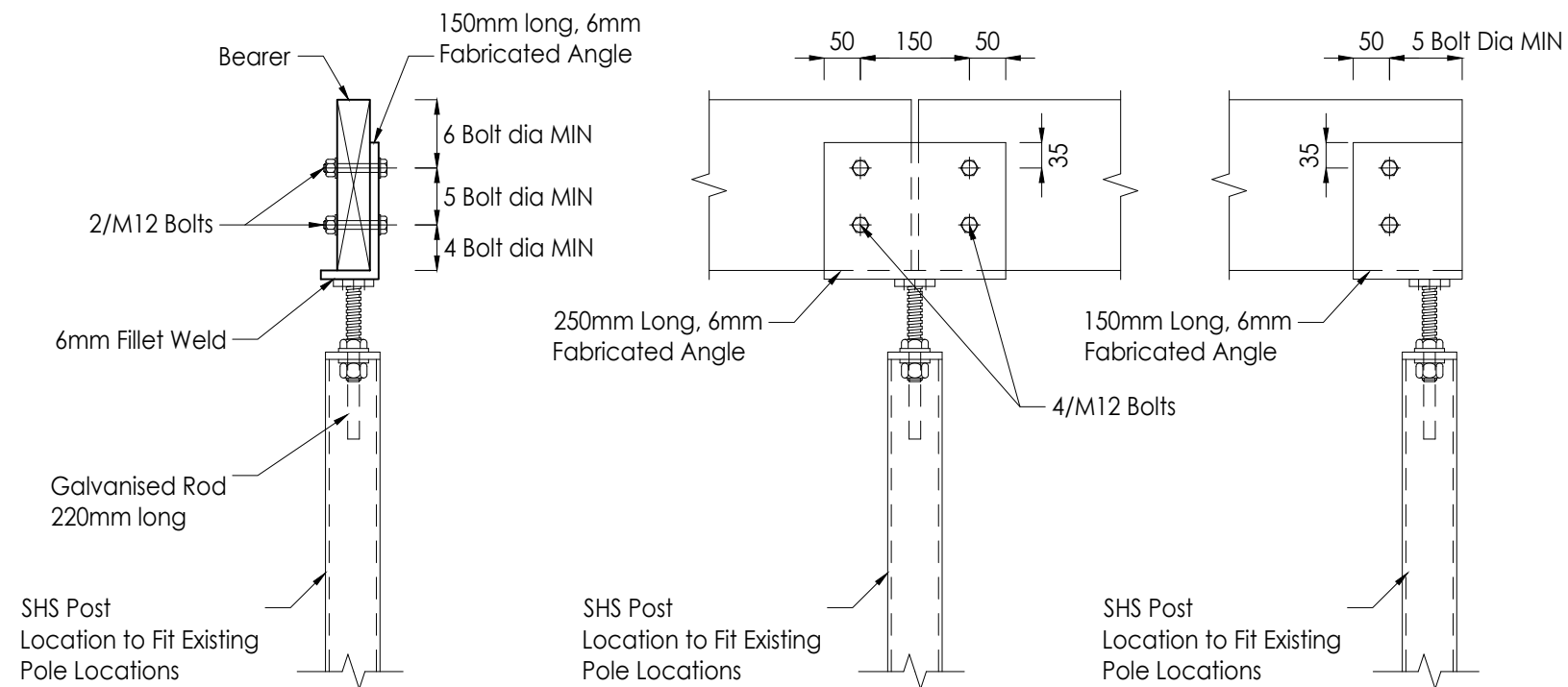
OPTION 1  
TIMBER BEAM TO STEEL POST  
FIXING DETAILS

NTS



EXISTING BEAM TO STEEL POST  
FIXING DETAILS

NTS

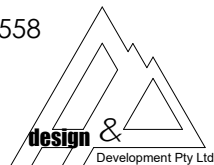


OPTION 2  
TIMBER BEAM TO STEEL POST  
CONNECTION DETAIL

NTS

### AAA Design & Development Pty Ltd

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### CONNECTION DETAILS

Project number C250-01

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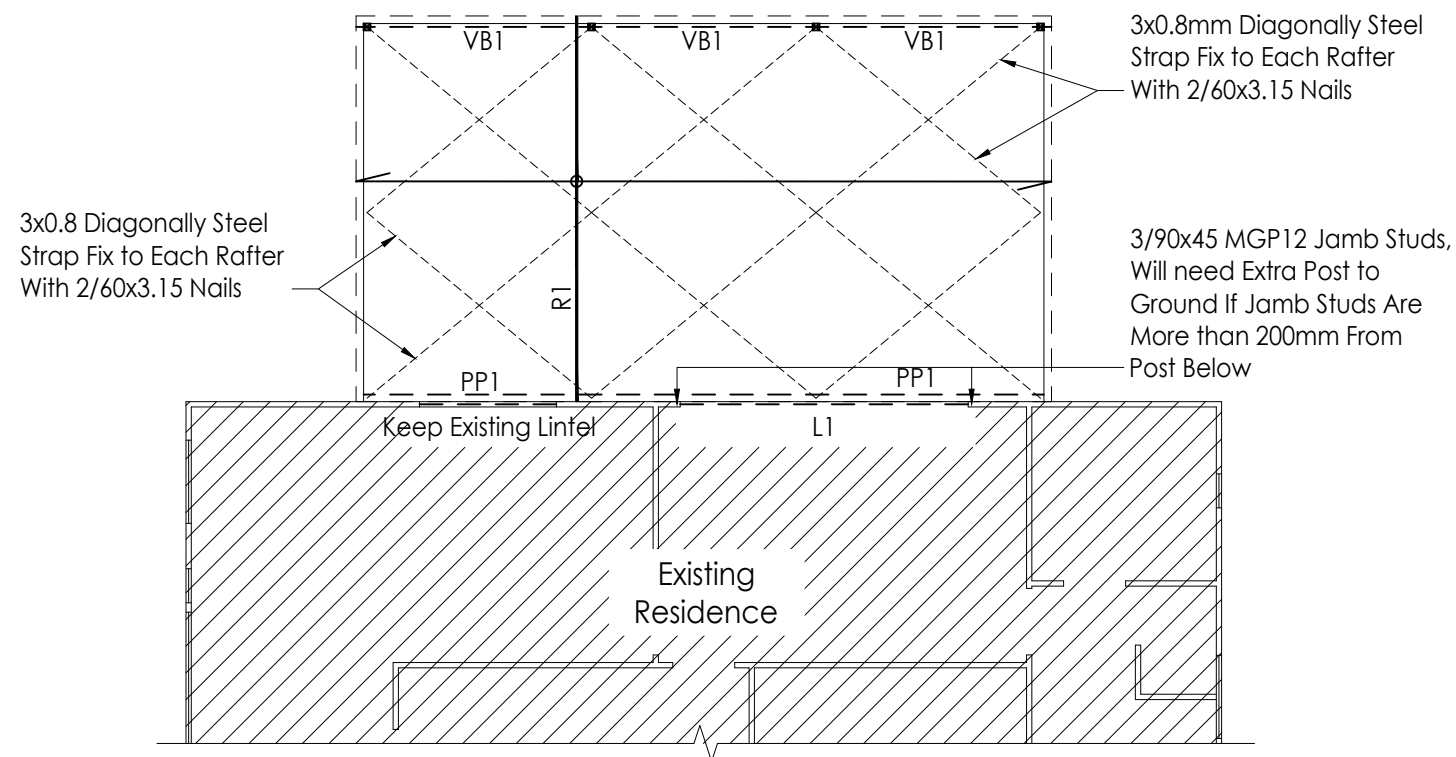
Drawn by R.S.

Checked by D.L.T.

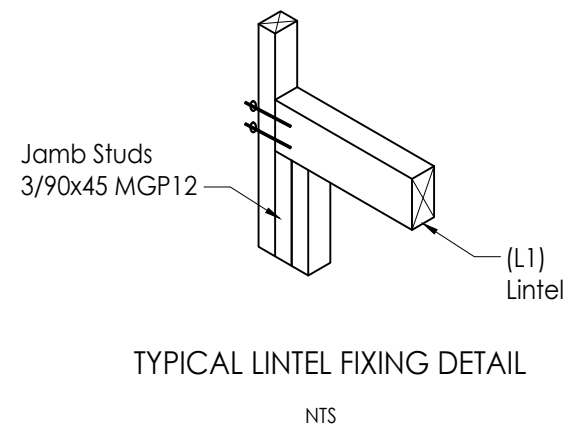
4291 - 03

Scale @ A3

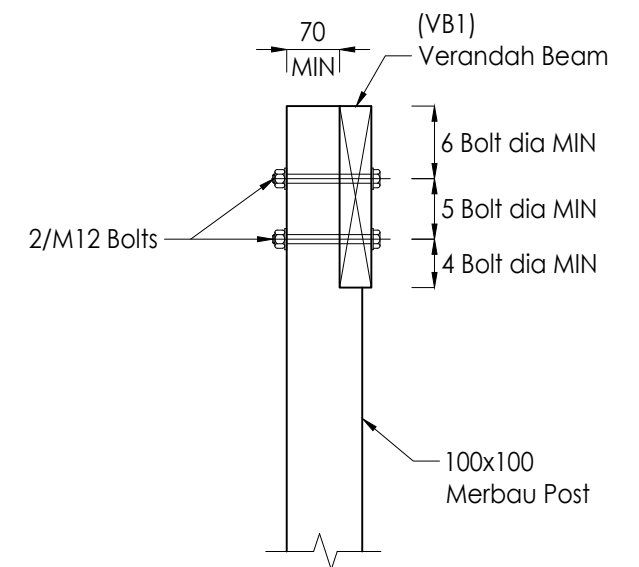
As shown



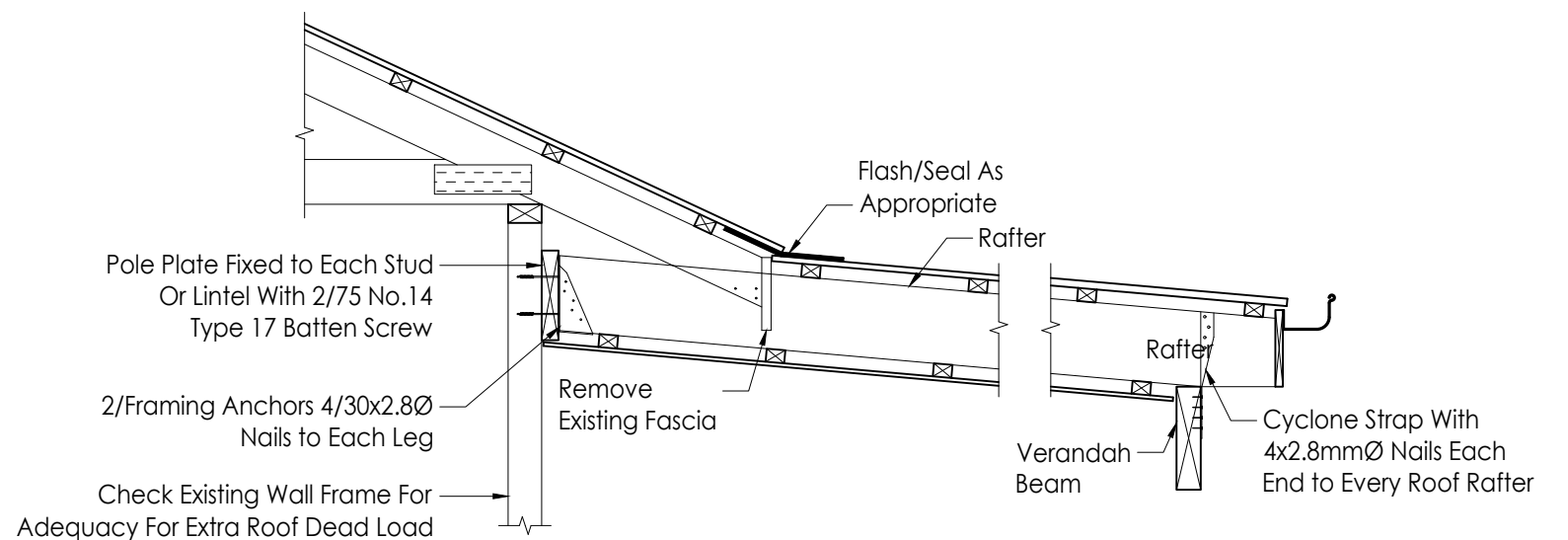
ROOF LAYOUT  
SCALE 1:100



TYPICAL LINTEL FIXING DETAIL



TIMBER BEAM TO TIMBER POST  
CONNECTION DETAIL



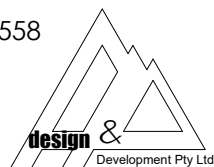
RAFTER TO HOUSE  
CONNECTION DETAIL

RAFTER TIE-DOWN DETAIL

MATERIAL LIST		
L1	Lintel	260x65 SmartLam GL17C
PP1	Pole Plate	240x45 MGP10 Treated
R1	Rafter	240x45 MGP10 @900 Crs Treated
VB1	Verandah Beam	240x42 Merbau GL17S or 2/190x45 MGP10 Treated

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ROOF LAYOUT

Project number C250-01

Date 11/07/2023

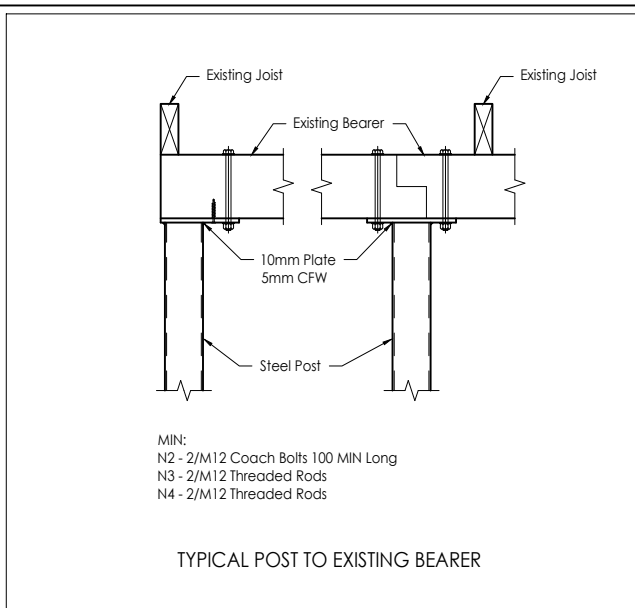
Drawn by R.S.

Checked by D.L.T.

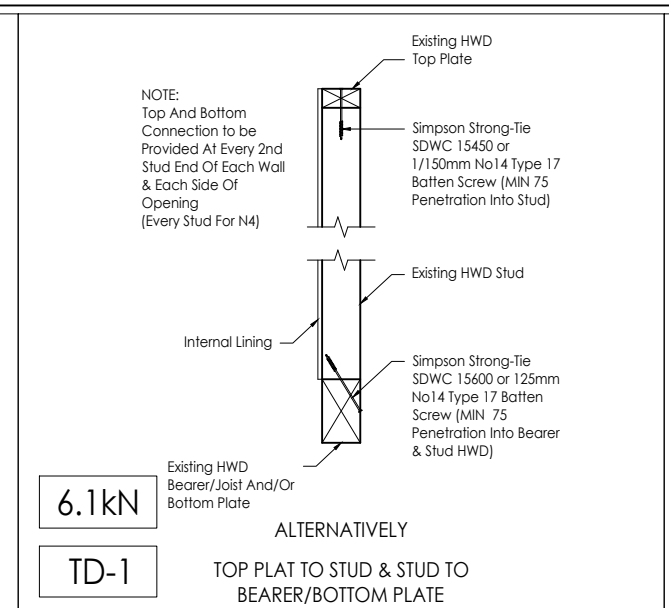
4291 - 04

Scale @ A3

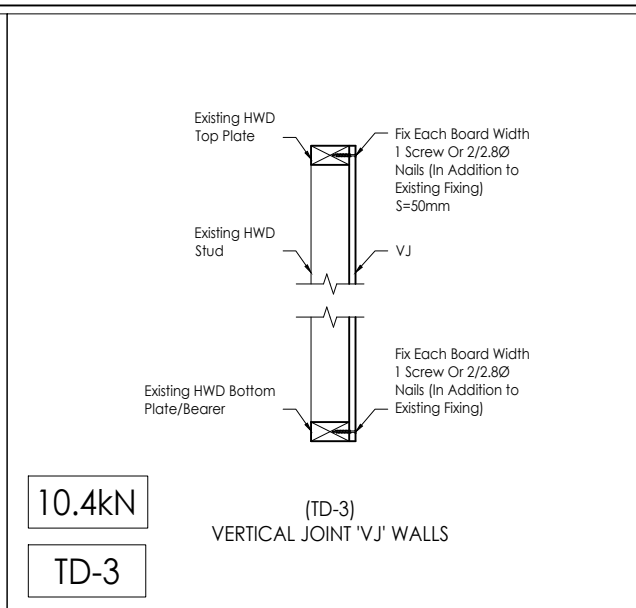
As shown



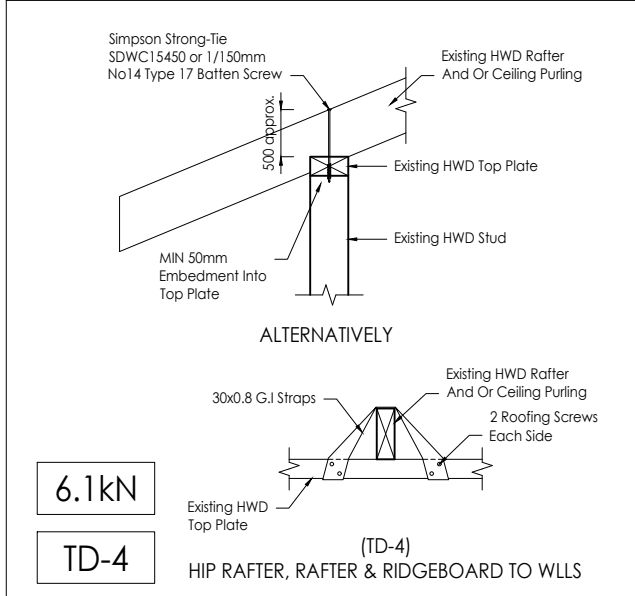
6.1kN  
TD-1



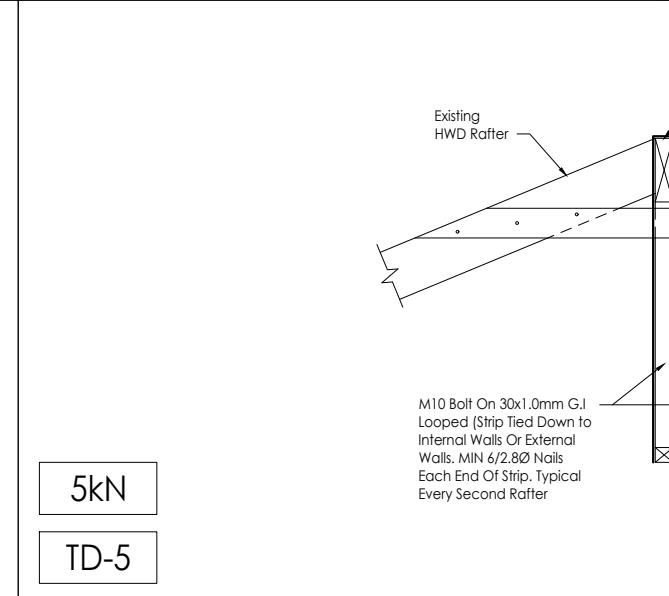
5.9kN  
TD-2



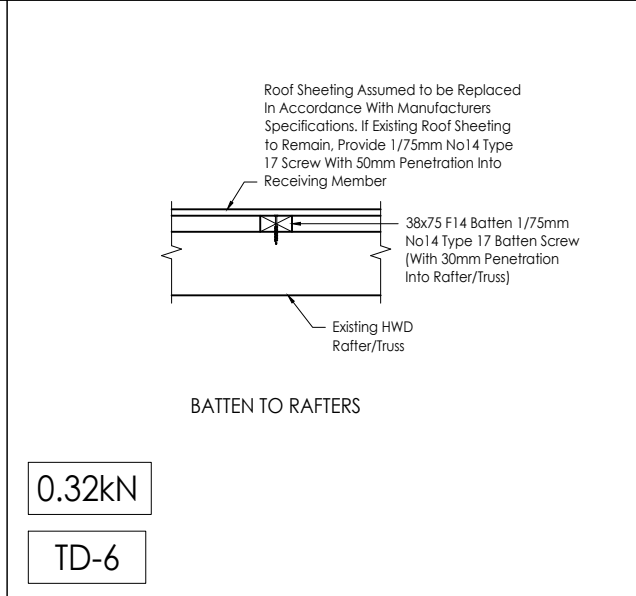
10.4kN  
TD-3



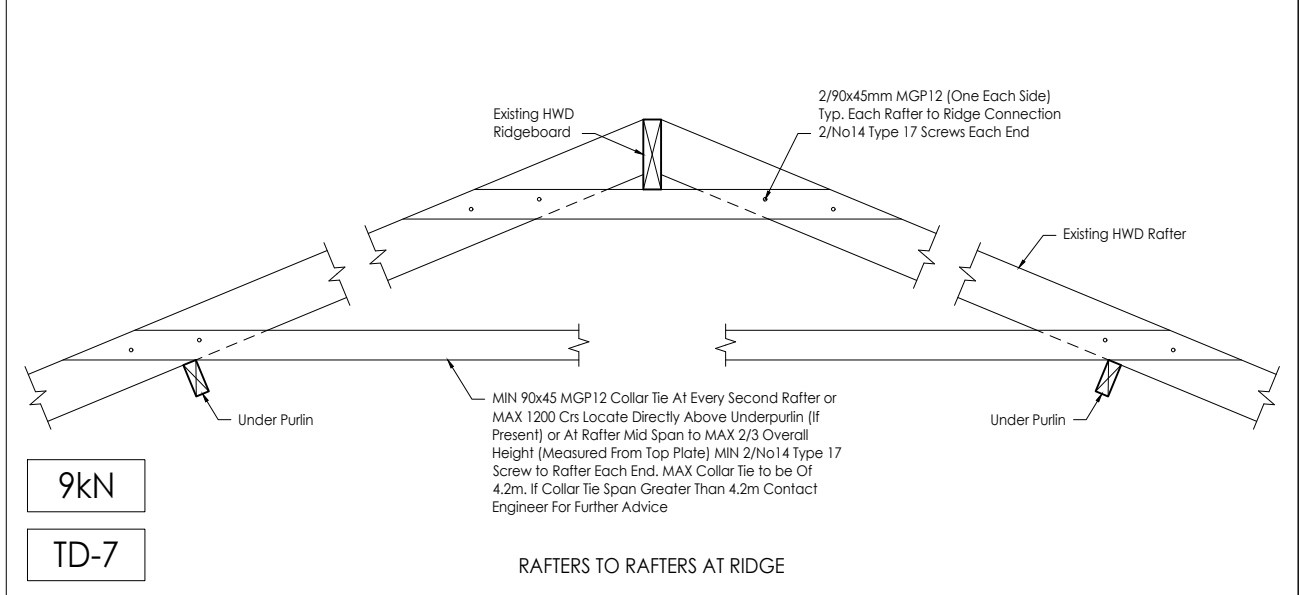
6.1kN  
TD-4



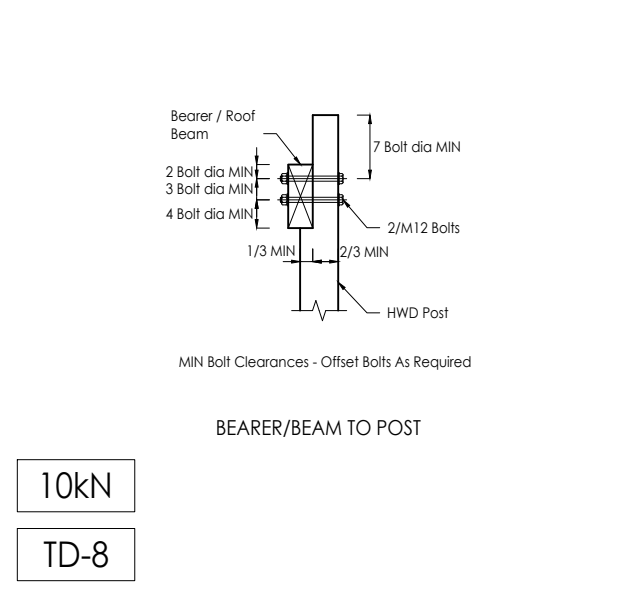
5kN  
TD-5



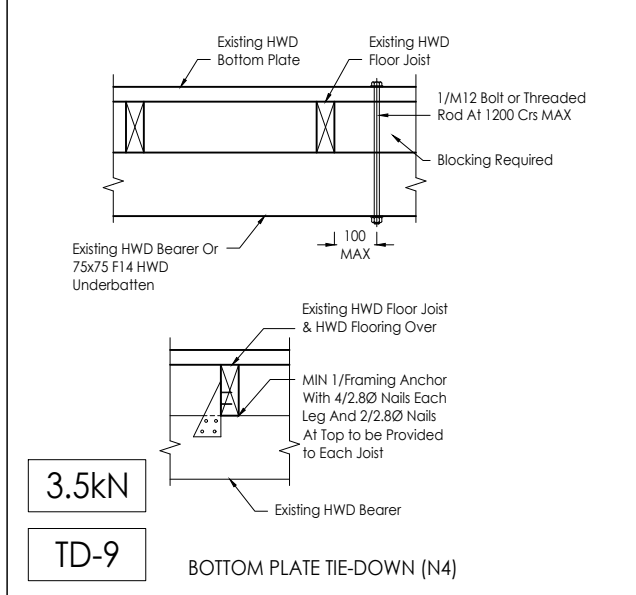
0.32kN  
TD-6



9kN  
TD-7



10kN  
TD-8



3.5kN  
TD-9

- ASSUMPTIONS AND STRUCTURAL CONDITIONS**
- All Structural Framing Members And Connections Are to be In Good Condition
  - Any Structural Framing Members Suffering or Connection From Rot Must be:
    - Strengthened to Match Or Exceed The Original Members Capacity
    - Replaced With a Members to Match Or Exceed The Original Members
  - All Connections Indicating Failure Are to be Replaced Nails That Are Loose Should Not be Re-Driven, But Replaced With a Screw Deemed Appropriate For That Purpose By The Manufacturer
  - Eave Overhang Are to be Ventilated to Perimeter
  - All New Screw Grade Connections Are to be Pre-Drilled to Minimize Splitting

**AAA Design & Development Pty Ltd**  
 34/13 Norval Court, MAROOCHYDORE, QLD 4558  
 Tel/Fax: (07) 5479 6747  
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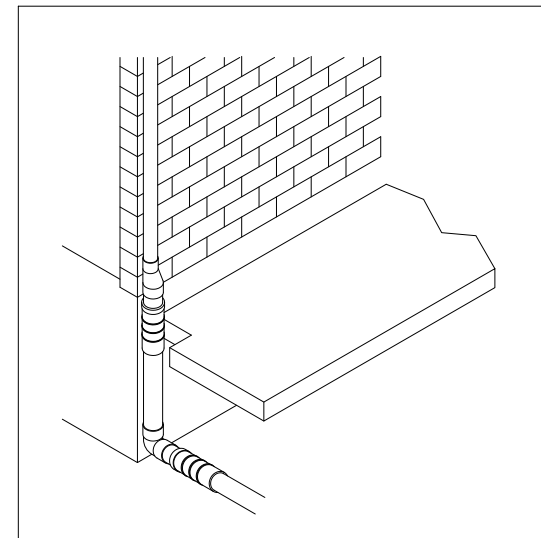
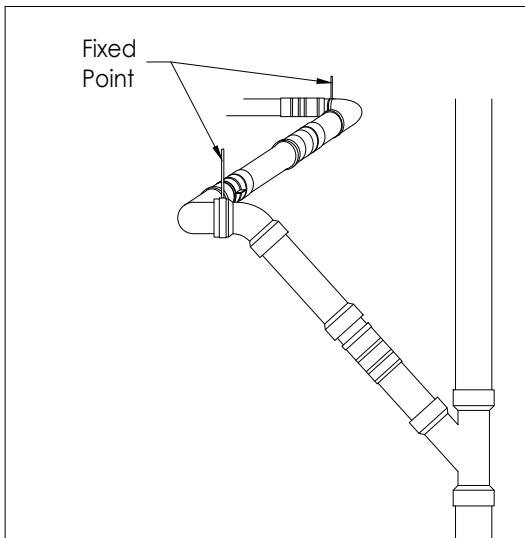
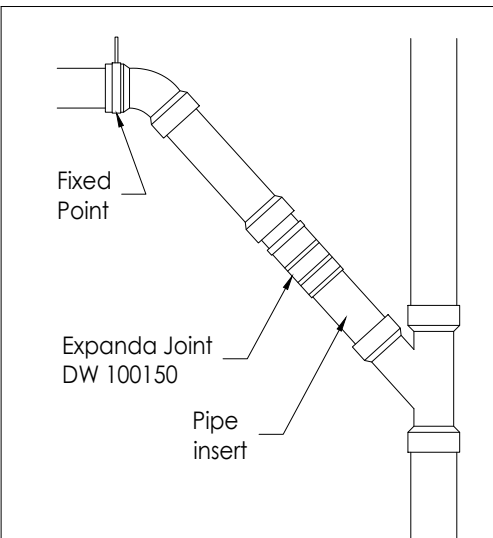
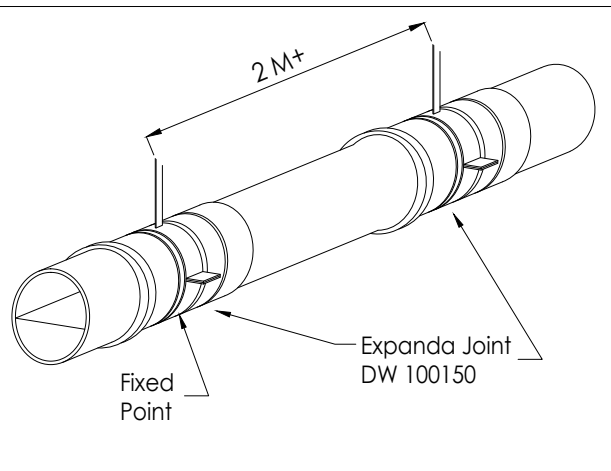
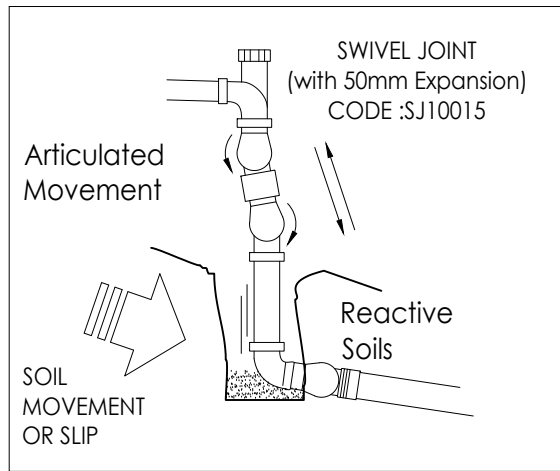
No.	Description	Date

**MARGE COCHRANE**  
 24 Horton St,  
 BIGGENDEN, QLD 4621  
 ----  
 RESIDENCE RELOCATION

**APPROVED**  
 Jose David Lesmes Tirado  
  
 BEng, MIEAust, RPEQ 7198  
 For & on behalf of AAA  
 Design & Development Consulting

**CONNECTION DETAILS**

Project number C250-01	<b>4291 - 05</b>
Date 11/07/2023	
Drawn by R.S.	
Checked by D.L.T.	
Scale @ A3	NTS

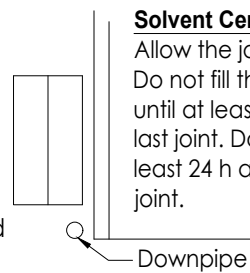


**AS/NZS 2032-2006**  
**Clause 3.7.1 Provision for Expansion and contraction.**

Downpipes do not normally need special provision for expansion and contraction. However, when a downpipe is connected to a Stormwater pipe, or otherwise restrained at the discharge end, provisions shall be made to allow the pipe to expand and contract

**Clause 4.2.2 (g) Solvent Cement Jointing**

Allow the joints to cure for 24hrs. Do not fill the pipeline with water until at least 1 h after making the last joint. Do not pressurize for at least 24 h after making the last joint.

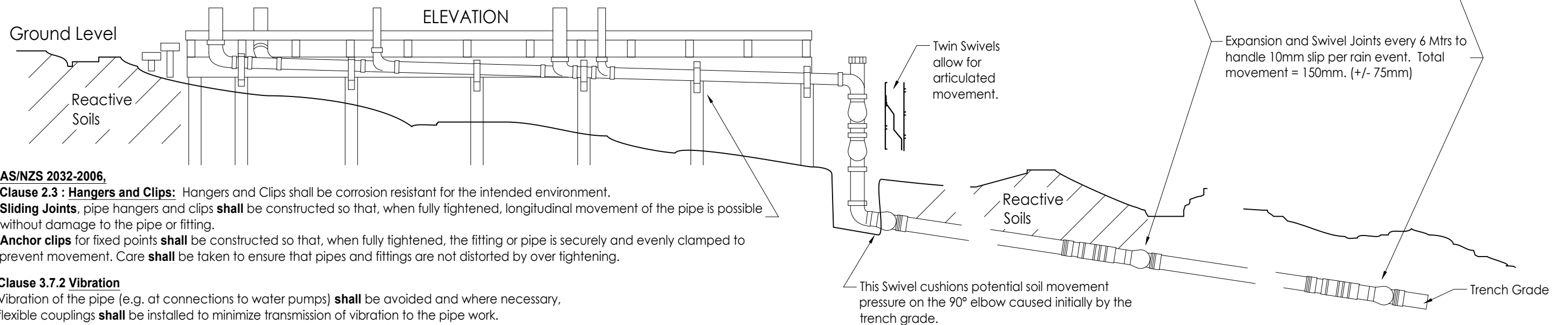


AS/NZS 2032-2006 Clause 6.4.2.2 (a)  
 Expansion joints provided where distance between fixed points exceed 2 metres (cold pipelines)

AS/NZS 2032-2006 Clause 6.4.2.4 (a)  
 Expansion Joint at connection to stack

AS/NZS 2032-2006 Clause 6.4.2.4 (b)  
 Expansion Joint at change of direction in graded lines.

AS/NZS 2032-2006 Clause 3.7.1 Provision for Expansion and Contraction



**AS/NZS 2032-2006,**

**Clause 2.3 : Hangers and Clips:** Hangers and Clips shall be corrosion resistant for the intended environment.  
**Sliding Joints,** pipe hangers and clips **shall** be constructed so that, when fully tightened, longitudinal movement of the pipe is possible without damage to the pipe or fitting.  
**Anchor clips** for fixed points **shall** be constructed so that, when fully tightened, the fitting or pipe is securely and evenly clamped to prevent movement. Care **shall** be taken to ensure that pipes and fittings are not distorted by over tightening.

**Clause 3.7.2 Vibration**

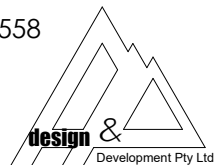
Vibration of the pipe (e.g. at connections to water pumps) **shall** be avoided and where necessary, flexible couplings **shall** be installed to minimize transmission of vibration to the pipe work.

Soil test by Uearthed Geotechnical  
 Job No. 023-128  
 Class "H1"

**Jose David Lesmes Tirado**  
 BEng Civil, MIEAust, RPEQ 07198 As Per Structural Certificate  
 Dated 11-07-2023

**AAA Design & Development Pty Ltd**

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 Design & Development Consulting

PLUMBING ARTICULATION	
Project number C250-01	<b>4291 - 06</b>
Date 11/07/2023	
Drawn by R.S.	
Checked by D.L.T.	
Scale @ A3	NTS