

14 September 2023

Our reference: 1169585

Joy MacPherson
13 Maslen Road
EIDSVOLD QLD 4627

Dear Sir/Madam

CONCURRENCE AGENCY RESPONSE

9 MASLEN ROAD, EIDSVOLD

(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 14 September 2023. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	Joy M MacPherson
Applicant contact details:	13 Maslen Road EIDSVOLD QLD 4627
Email:	sball58@bigpond.com
Phone:	
Mobile:	0439 955 331

Site details

Street address:	9 MASLEN ROAD, EIDSVOLD
Real property description:	1MPH34896

Application details

Application No:	DA230043
Date of Decision	15 September 2023
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Building Work - assessable against planning scheme	Development Permit	Shed over 12m length

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 3 Design and Siting – QDC non-compliance and/or QDC alternate provision assessment
------------------	---

Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that; The development approval must be subject to stated development conditions set out in Attachment 1 .
-------------------	--

Conditions

This approval is subject to the conditions in [Attachment 1](#).

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

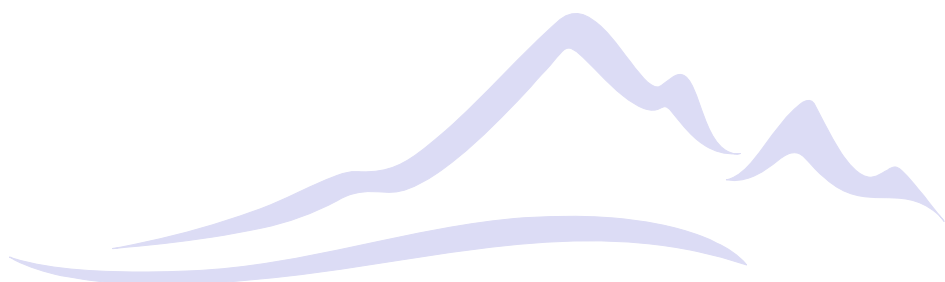
Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in [Attachment 2](#).

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
1153857 / BP230069	Site Plan by J MacPherson	
WSS232095-7	Slab Dimensions by Wide Span Sheds P/L & Apex Engineering Group Pty Ltd	3/5/2023
WSS232095-10 Page 1 of 2	Component Position by Wide Span Sheds P/L & Apex Engineering Group Pty Ltd	3/5/2023
WSS232095-10 Page 2 of 2	Component Position by Wide Span Sheds P/L & Apex Engineering Group Pty Ltd	3/5/2023
WSS232095-3	Layout by Wide Span Sheds P/L & Apex Engineering Group Pty Ltd	3/5/2023

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.



Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

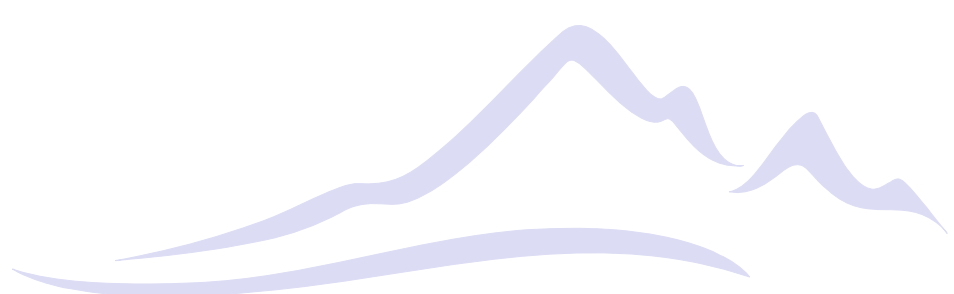
Yours faithfully

for 

Kim Mahoney

General Manager – Corporate & Community

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans

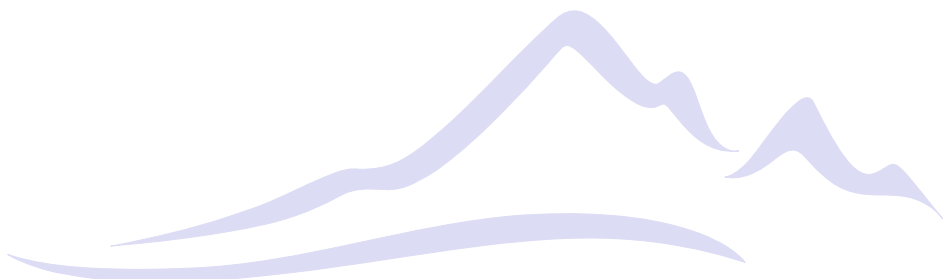


Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The approved shed must be sited a minimum six (6) metres from the Maslen Street property boundary, with all setbacks measured from the outermost projection of the structure.
3.	The floor area of the approved shed must not exceed 110 m ²
4.	The open walled area on the northern end of the shed as shown on the endorsed plans is to be maintained as an 'open' structure and is not to be infilled with walling or roller doors.
5.	The overall height of the approved shed must not exceed five (5) metres measured from natural ground level.
Use	
6.	The approved shed is to be used for private/domestic purposes only. The approved structure must not be used as a separate domicile/dwelling or used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
7.	The approved shed must not be used for habitable purposes.

Attachment 1B – Advice Notes

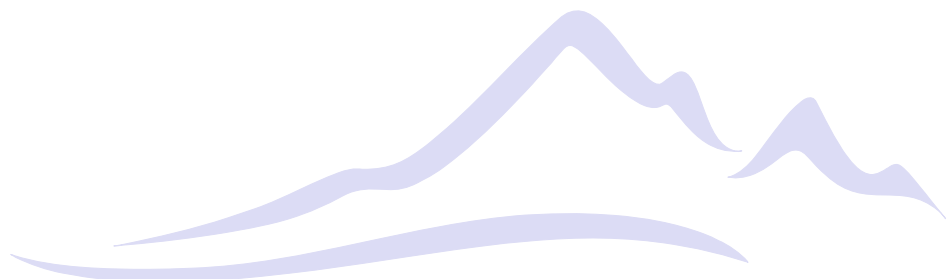
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Please note this amenity and aesthetics assessment pertains to the approval of a class 10 building only (defined as Domestic Carport, Shed and Garage (10a)). It is recommended that clarification from a Building Certifier be sought to ensure that an appropriate building classification is applied to align with the building size, purpose, use and intent of operations within the building.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are: To ensure the development is carried out generally in accordance with the plans of development submitted with the application.

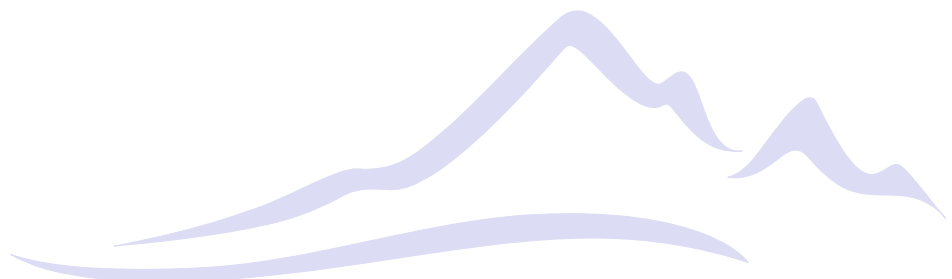
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.



Attachment 3 – Approved Plans

Intentionally left blank

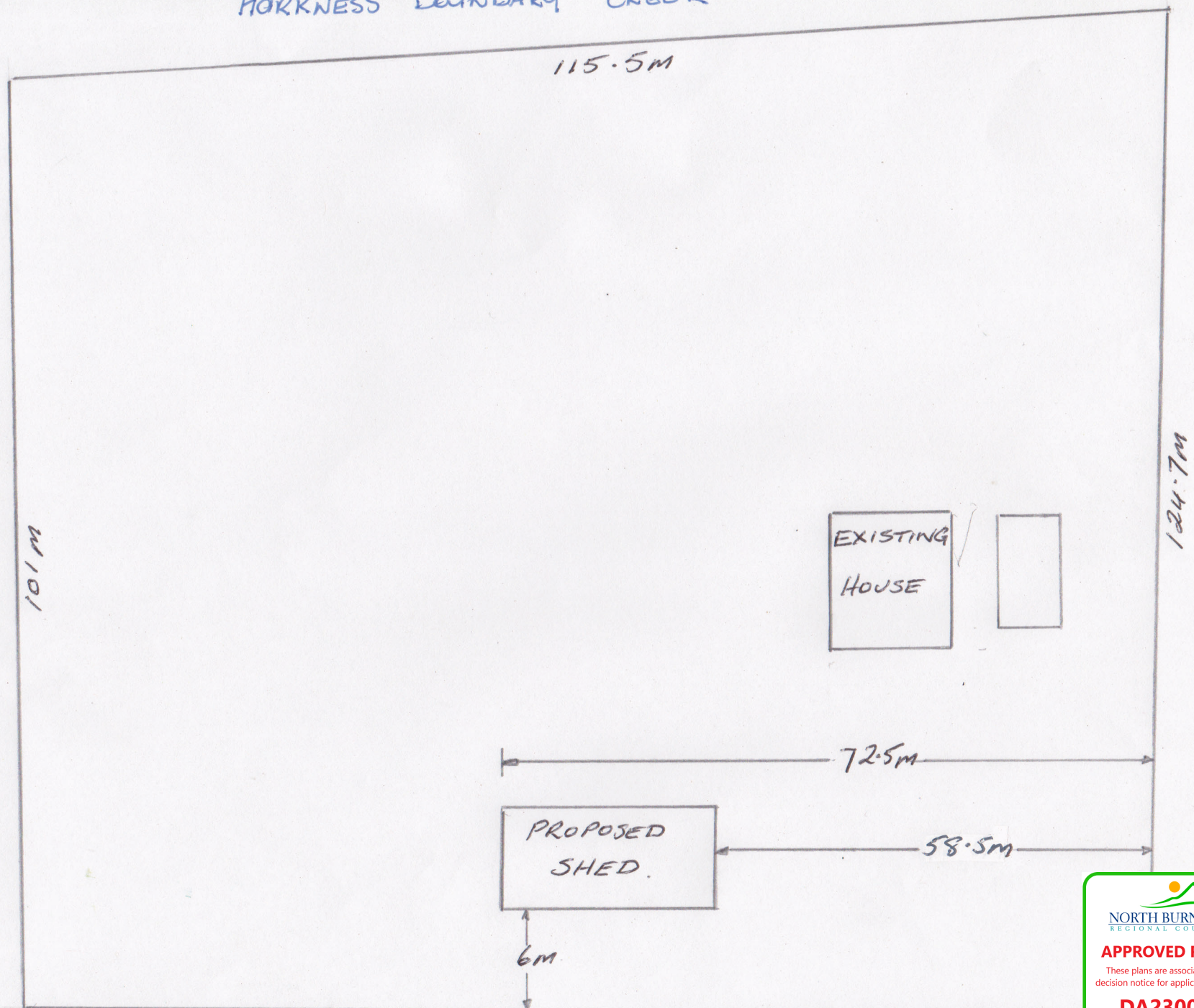
Please refer to the following pages for approved plans.



Ref: BP230069

Doc. ID: 1153857

HORKNESS BOUNDARY CREEK



9 MASLEN RD. 113.5m

PROPOSED SHED
FOR
JOY MACPHERSON

SITE PLAN

These dimensions are provided as a guide only. It is the responsibility of the contractor to confirm that all dimensions are correct.

14m



6m

1.87m

12.13m

Purchaser Name: Joy & Brian Macpherson

Site Address: 9 Maalen Rd Eidsvold QLD 4627 Australia

Drawing # WSS232095 - 7

Print Date: 03/05/23

Slab Dimensions
Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION
Not to Scale
© Copyright Steelix IP Pty Ltd

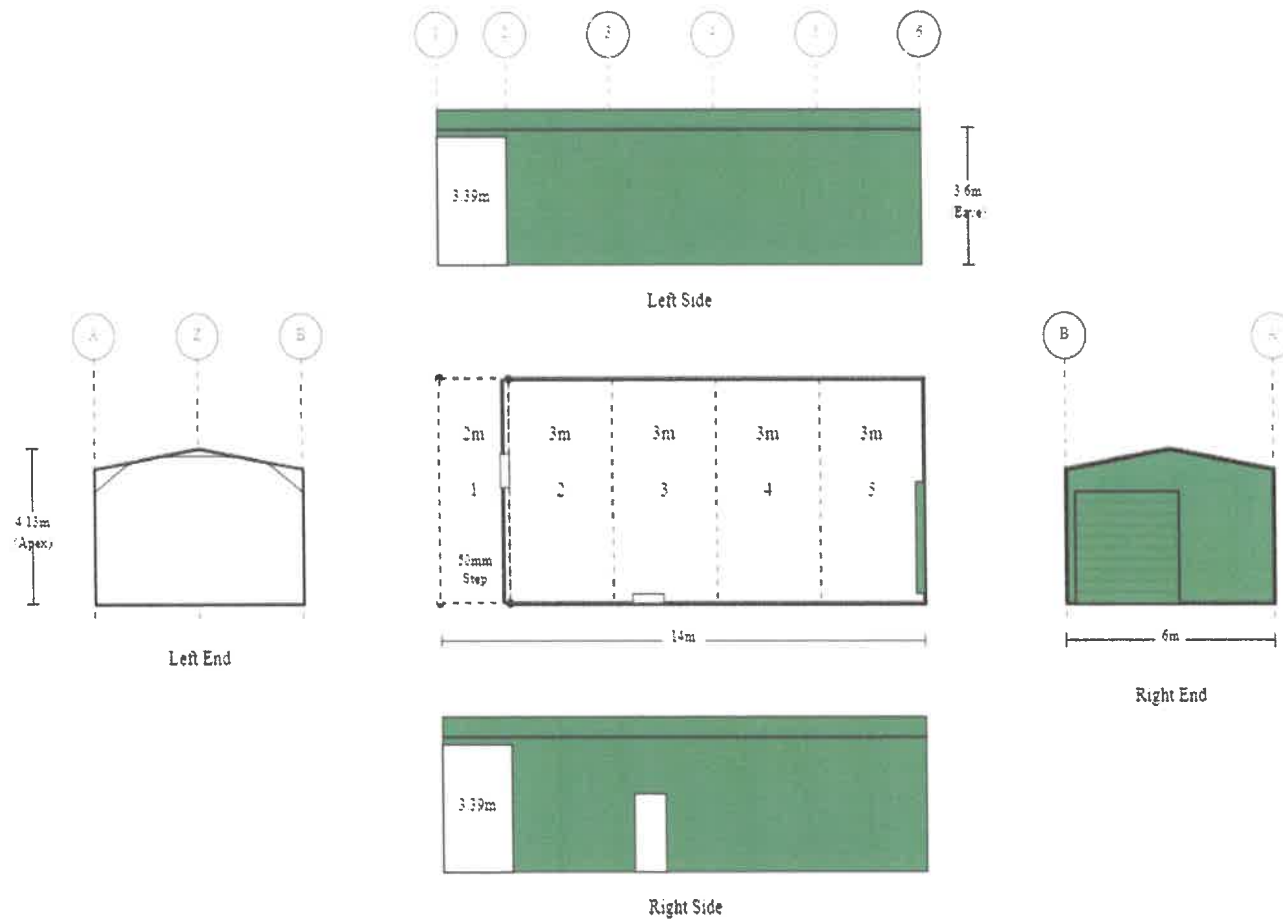
Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 6888
Fax: 07 5657 6899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 6278880
QLD : RPEQ No. 24223; TAS : 186770492; VIC : PE0003648; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

John Ronalobson

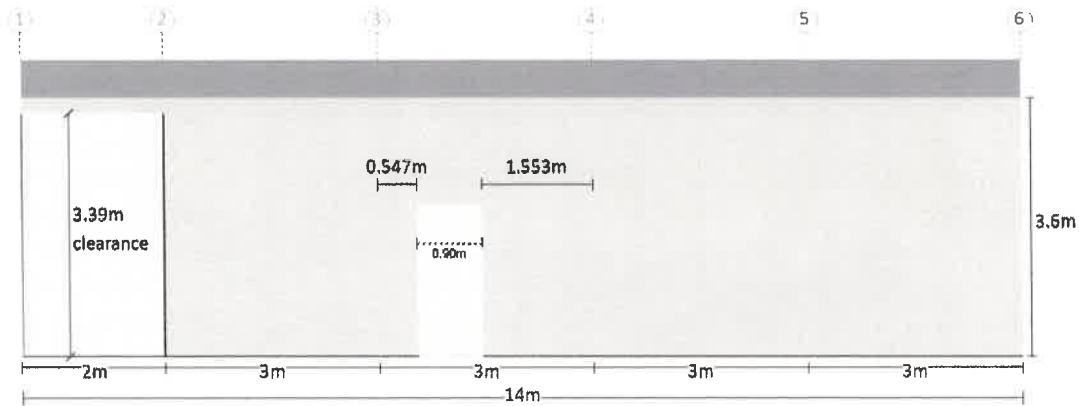
Date: 03/05/23



Purchaser Name: Joy & Brian Macpherson		Layout NOT FOR CONSTRUCTION Not to Scale © Copyright SteelxIP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@esheds.com.au	Apex Engineering Group PTY LTD ACN 832 588 582 ME Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
Site Address: 9 Maslen Rd Eidsvold QLD 4627 Australia				
Drawing # WSS232095 - 3	Print Date: 03/05/23			
Signature: 		John Ronaldson Date: 03/05/23		

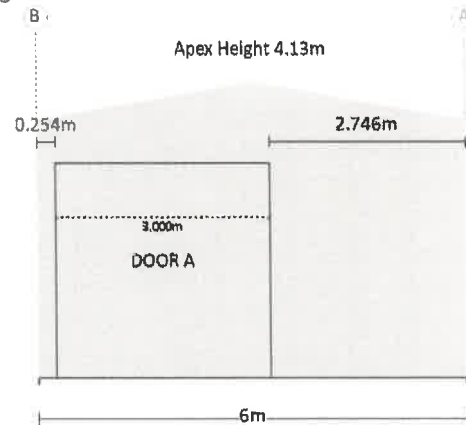
This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening size.

Right End



Purchaser Name: Jay & Brian Macpherson

Site Address: 9 Maalen Rd Eidsvold QLD 4827 Australia

Drawing # WSS232095 - 10

Print Date: 03/05/23

Component Position
NOT FOR CONSTRUCTION
Not to Scale
Page 1 of 2
© Copyright Steelix IP Pty Ltd

Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

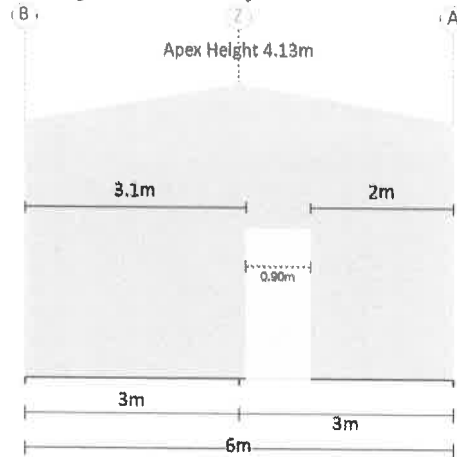
Apex Engineering Group PTY LTD
ACN 632 688 582
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

John Ronaldson

Date: 03/05/23

Bay Dividing Wall Between Bays 1 & 2



Measurements are from the outside of side girts to the inside of component opening size.



APPROVED PLANS

These plans are associated to the decision notice for application number

DA230043

Purchaser Name: Joy & Brian Macpherson

Site Address: 9 Mission Rd Eidsvold QLD 4627 Australia

Drawing # VSS232085 - 10

Print Date: 03/05/23

Component Position
NOT FOR CONSTRUCTION
Not to Scale
Page 2 of 2
© Copyright Steelx IP Pty Ltd

Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@wsheds.com.au

Apex Engineering Group PTY LTD
ACN 832 588 582
ME Aust. (Registered NER Structural) 6276880
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 30357ES;
Practising Professional Structural & Civil Engineers

Signature:

John Ronaldson

Date: 03/05/23

Attachment 4 – Planning Act 2016 Extract Appeal Rights

Intentionally left blank

Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

