


AMENITY AND AESTHETICS ASSESSMENT APPLICATION

Contact Council if you have any specific enquiries regarding fees or how to complete this form. Type or print clearly and select boxes where applicable. Enter "n/a" if the question does not apply.

	APPLICANT DETAILS:			
	Applicant's Name- Project BA			
	Contact Person – Daniel Eichhorn		Your Ref : 2023-3819	
	Postal address 4/59 Mary Street			
	Locality / Town Noosaville		State QLD Postcode 4566	
	Contact phone 07 5451 8784			
	Contact fax		Email info@projectba.com.au	
	APPLICANT'S SIGNATURE Date 18/10/2023			
Address	PROPERTY DETAILS: (for relocated structures this is the site the structure is being relocated to)			
	Physical Street Address: 11 Frederick Street			
	Locality / Town: Biggenden			
	Lot no: 2		Registered plan RP120689	
	Description of property: (eg. residential, vacant, industrial, etc)			
Property description	Residential			
	APPLICATION DETAILS:			
	Has the building application been lodged? NO Yes – Date of lodgement			
	Building Certifier		Engagement Date	
	Postal Address			
	Phone		Email	
Proposal Details (tick applicable boxes)	DESCRIPTION OF PROPOSED BUILDING WORKS:			
	New Dwelling		Dwelling Alteration	
	Commercial		<input checked="" type="checkbox"/> Relocated building	
	Shipping Container / Railway Wagon		Other	
	what is the intended use of the structure? Residential Dwelling			
	Description of building materials (eg steel, timber, aluminium)			
	External walls		Timber	
	Roof Covering		Steel	
	Description of locality (eg residential, rural, commercial)			
	Rural Residential			

Information Privacy Act Collection Notice

North Burnett Regional Council is collecting this information in order to process your application. This information will not be disclosed to any third party without your written or verbal authorisation unless required by law.

	Relocated building		
	Is the building located from within the North Burnett Regional Council area	Yes / No	
	Is the building located from outside the North Burnett Regional Council area	Yes / No	
	What is the distance (in metres) is the proposed structure		
	• from the front boundary? (NB. this is to your front boundary, not the kerb)	_____ m	
	• from the side boundary?	_____ m	
	• from the rear boundary?	_____ m	
	What are the proposed dimensions and Gross Floor Area (GFA) m²? (dimensions -. height, length, width)		
Written comments to support the request – consideration to requirements set out in North Burnett Regional Planning Scheme	JUSTIFICATION:		
	Have you explored alternative locations for the structure? Please outline.		
Proposal Details (tick applicable boxes)	INFORMATION TO BE SUBMITTED WITH APPLICATION:		
	Site Plan (inc. existing buildings on-site, distances to all boundaries for all structures).		
	Building Plans (e.g. proposed floor plans, existing floor plans, elevations).		
	Additional details to further support your request.		
	For a relocated / resited building, shipping container, railway carriage, metal clad structure or the like, multiple photographs depicting the condition of the exterior of the building/structure must be submitted with this application.		
	Copy of building application (including forms and acknowledgement notice lodged with certifier (only if a building application has already been lodged with a Private Certifier).		
	Additional information as required by the assessing officer		
	OFFICE USE ONLY		
	Total	Receipt No	Date / /

GENERAL NOTES:

- DO NOT SCALE FROM THIS DRAWING - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ANY DISCREPANCIES WHICH THE CONTRACTOR MAY FIND IN THIS DRAWING MUST BE BROUGHT TO THE ATTENTION OF EVOKE ARCHITECTS PRIOR TO COMMENCEMENT OF WORK. - VERIFY ALL DIMENSIONS PRIOR TO ORDERING OR SHOP FABRICATION.
- SMOKE DETECTORS TO BE WIRED INTO ELECTRICITY MAINS AND TO COMPLY WITH NCC, PART 3.7.5.
*SD

- ALL GLAZING TO COMPLY WITH AS 1288-2006 GLASS IN BUILDINGS & AS 4055-2012 FOR WINDLOADING.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, THE NATIONAL CONSTRUCTION CODE & LOCAL AUTHORITY REGULATIONS
- FOOTINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH ASSOCIATED SOIL TESTS AND/ OR ENGINEERS SPECIFICATIONS.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ATTACHED ENGINEERS NOTES.
- ARTICULATION JOINTS TO ENGINEERS DESIGN REPORT
- LOH - WHERE INDICATED TO BE REMOVABLE DOORS WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC 3.8.3
- REFER ENGINEER'S PLAN FOR EXPANSION JOINT LOCATIONS
- WATER PROOFING TO WET AREAS TO COMPLY WITH NCC, PART 3.8.1
- SMOKE ALARMS TO BE INTER-CONNECTED

SUSTAINABILITY COMPLIANCE

- 1. TRIPLE 'A' RATED SHOWER ROSES.
- 2. DUAL FLUSH TOILETS (6 LITRE FULL FLUSH / 3 LITRE HALF FLUSH).
- 3. 500kpa WATER PRESSURE-LIMITING DEVICES.
- 4. ENERGY EFFICIENT LIGHTING TO 80% OF DWELLING INTERNAL FLOOR SPACE.

TERMITE PROTECTION:
TO AS3660-2017 "TERMSPEC" TERMITE MANAGEMENT SYSTEM TO ALL SLAB PENETRATIONS AND PERIMETER OF SLAB. CONCRETE SLAB TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS2870. REFER ENGINEERS PLAN FOR EXPANSION JOINT LOCATIONS.

SLAB:
STEPDOWNS TO EXTERNAL SURFACES TO COMPLY WITH THE NCC. CONCRETE SLABS, PATHS & DRIVEWAYS NOT DESIGNED BY ENGINEER ARE NOT PART OF THIS APPLICATION.

PLUMBING:
PLUMBER / DRAINER TO VERIFY ALL DIMENSIONS PRIOR TO POSITIONING UNDERSLAB POINTS. MEASUREMENTS MAY VARY. FLOOR WASTE FIXTURES TO BE POSITIONED AT THE TIME OF CONSTRUCTION.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-
i) ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR
ii) BATHROOMS- WITHIN 1500mm VERTICAL OF THE BATH BASE
iii) FULLY GLAZED DOORS
iv) SHOWER SCREENS
v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

NOTE: GLAZING REQUIREMENTS MAY BE DIFFERENT FROM THAT STATED UNDER BUSHFIRE CATEGORY REQUIREMENTS REFER 'BAL RATING'

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS STEEL.

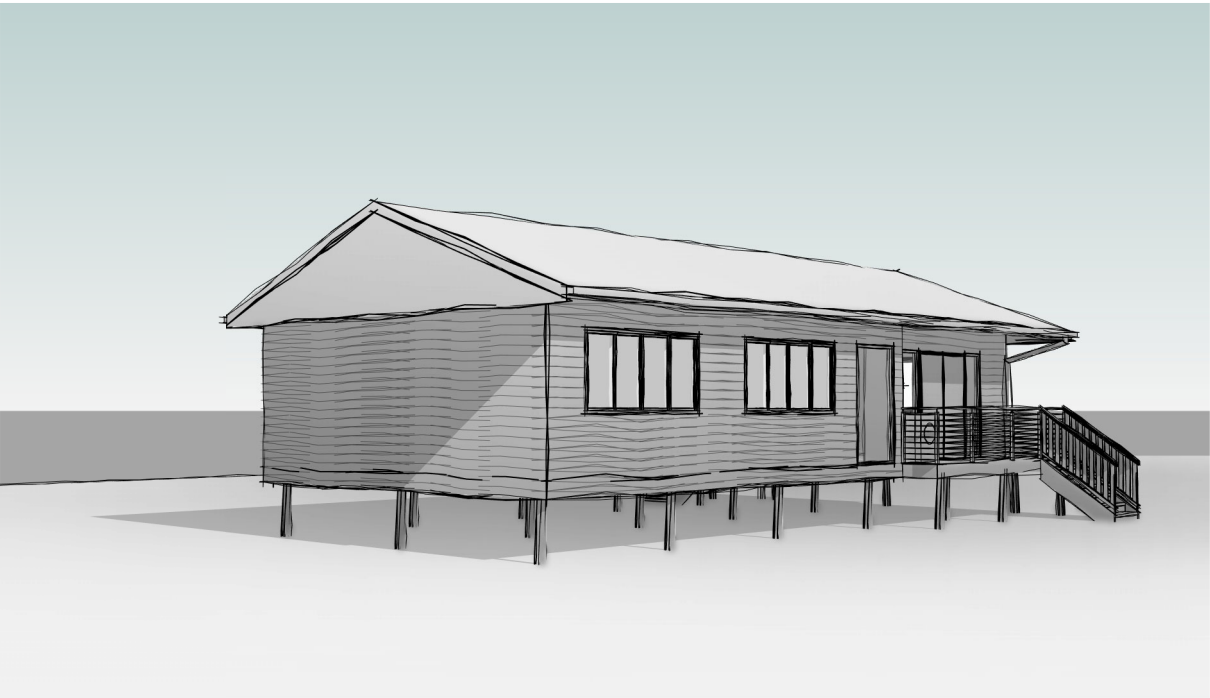
THERMAL INSULATION; INSULATION TO CEILING AND REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING REFER SARKING REQUIREMENT UNDER BUSH FIRE CATEGORY. BEDROOMS REQUIRE MINIMUM 10% LIGHT & 5% VENTILATION TO TOTAL FLOOR AREA.

RELEVANT AUSTRALIAN STANDARDS

- CONCRETE CONSTRUCTION TO COMPLY WITH NATIONAL CONSTRUCTION CODE.

- TIMBER STRUCTURE STANDARD AS 1720.3- 2016

- TIMBER CONSTRUCTION AS1684 - 2010
- MASONARY STRUCTURES AS4773-2010
- CONCRETE STRUCTURES AS3600-2018
- CONCRETE ROOF TILES AS2049-2002
- RESIDENTIAL SLABS & FOOTINGS AS2870-2011
- WINDOW & GLASS INSTALLATION AS2047 AND AS1288.
- BARRIERS FOR SUBTERRANEAN TERMITES TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1-2014
- WIND LOADS FOR HOUSING AS4055-2012
- STEEL STRUCTURES AS4100-2016
- DAMP PROOF COURSE & FLASHINGS AS/NZS2904
- PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.2 OF THE NCC.
- PROTECTION OF LINTELS IN MASONRY TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.4 OF THE NCC.



HOUSE RELOCATION TO:

11 FREDERICK ST, BIGGENDEN

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC & RELEVANT AUSTRALIAN STANDARDS. FULL STRUCTURAL CERTIFICATION IS REQUIRED. DO NOT SCALE FROM DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY FABRICATION, SETOUT OR WORK. ANY COSTS ARISING FROM INCORRECT DIMENSIONING IS THE RESPONSIBILITY OF THE CONTRACTOR IF EVOKE ARCHITECTS IS NOT CONTACTED PRIOR TO CONSTRUCTION. VERIFY LOCATION OF EXISTING SERVICES BEFORE COMMENCEMENT OF WORK.

DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A

PRO
1270

SHEET NUMBER
A - 01

REV
A

CLIENT NAME:
ROBSTY PTY LTD

PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

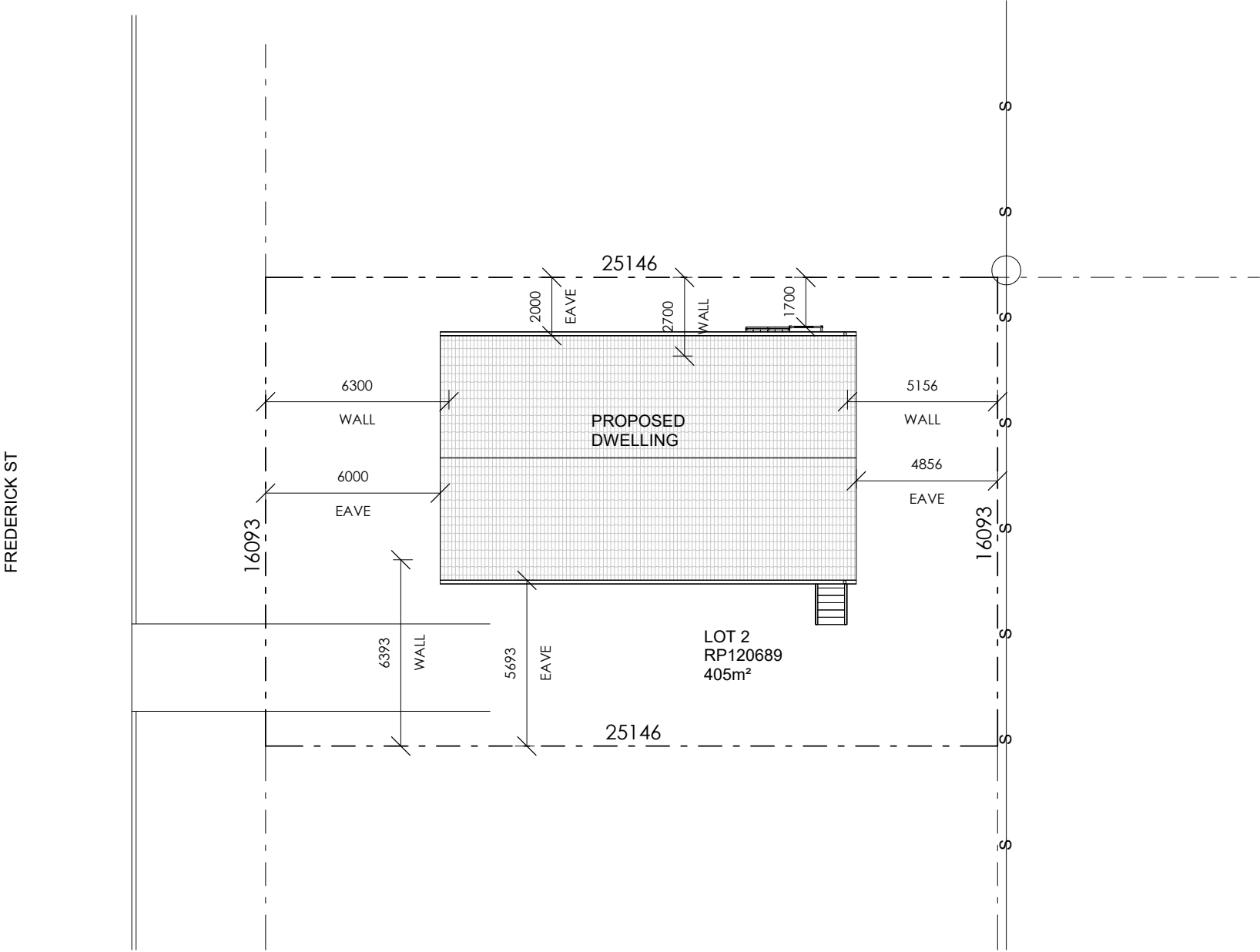
SHEET NAME:
COVER SHEET

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1

SITE PLAN

1 : 200 @A3



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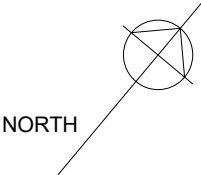
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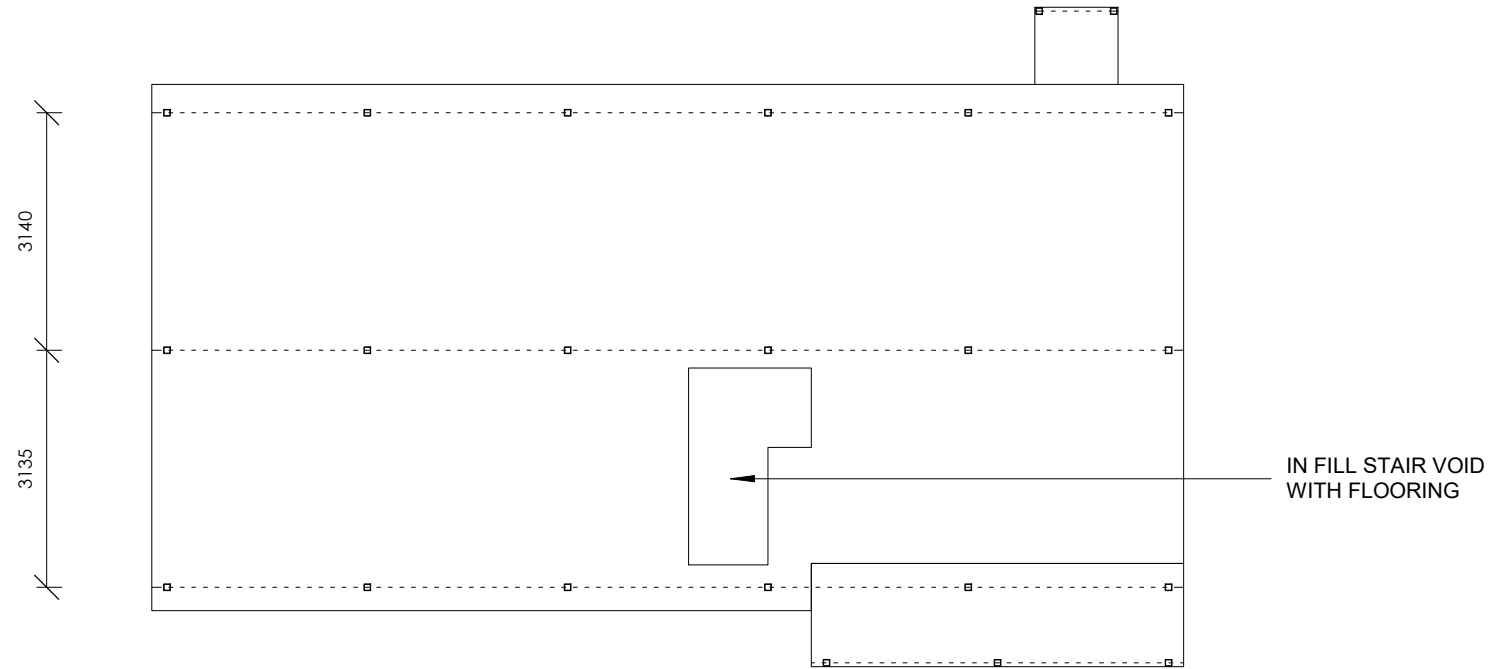
PRO 1270	SHEET NUMBER A - 02	REV A
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CLIENT NAME:
ROBSTY PTY LTD

PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

SHEET NAME:
SITE PLAN





1

PROPOSED COLUMN LAYOUT

1 : 100 @A3

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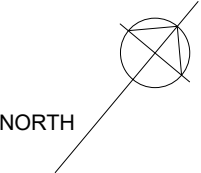
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PRO
1270

SHEET NUMBER
A - 03

REV
A

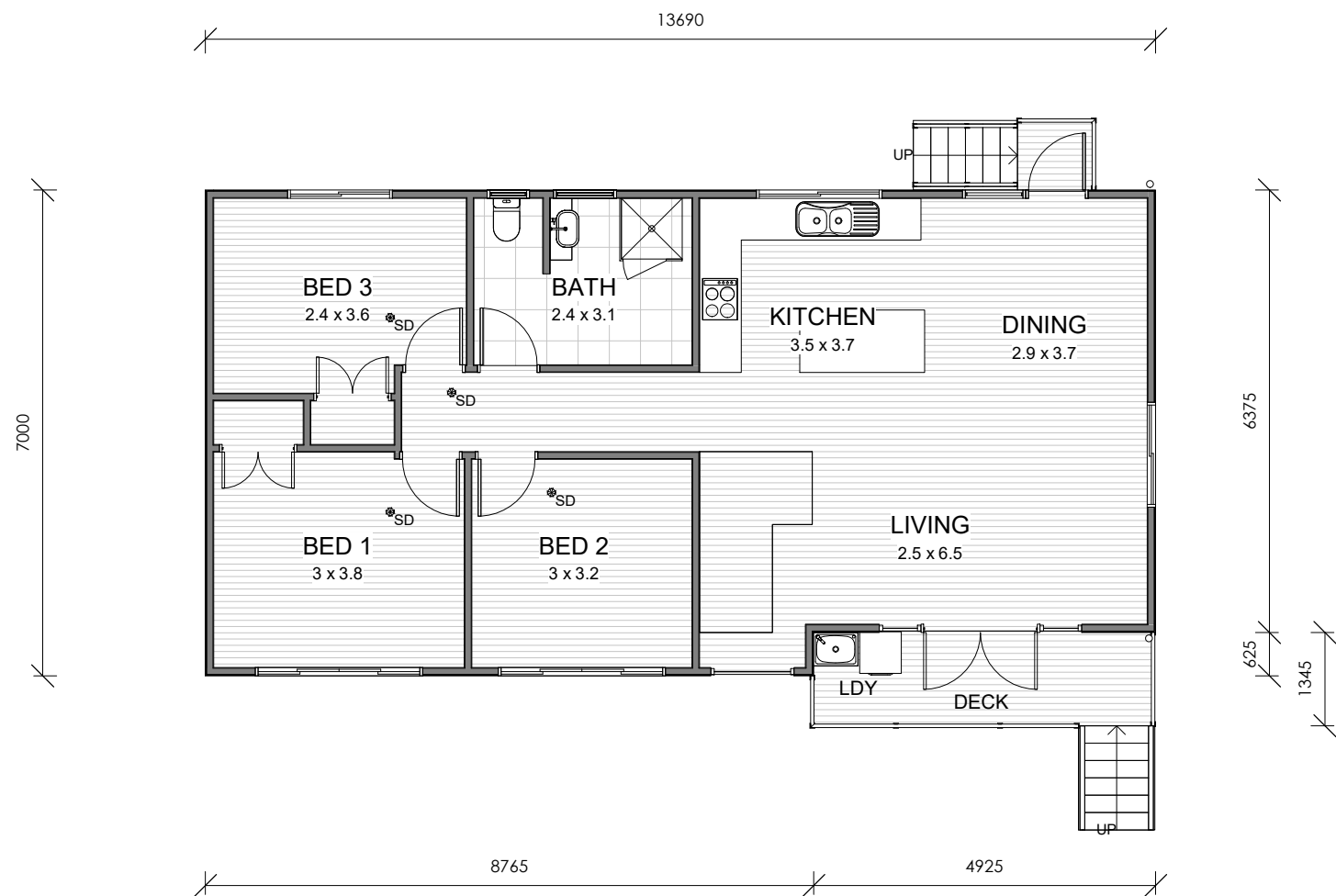
CLIENT NAME:
ROBSTY PTY LTD
PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.
SHEET NAME:
PROPOSED COLUMN LAYOUT





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- NOTES:
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 - LOCAL COUNCIL HEIGHT LIMIT NOT TO BE EXCEEDED



1 PROPOSED FLOOR PLAN

1 : 100 @A3

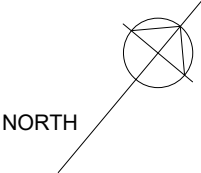
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PRO 1270	SHEET NUMBER A - 04	REV A

CLIENT NAME:
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PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

SHEET NAME:
PROPOSED FLOOR PLAN



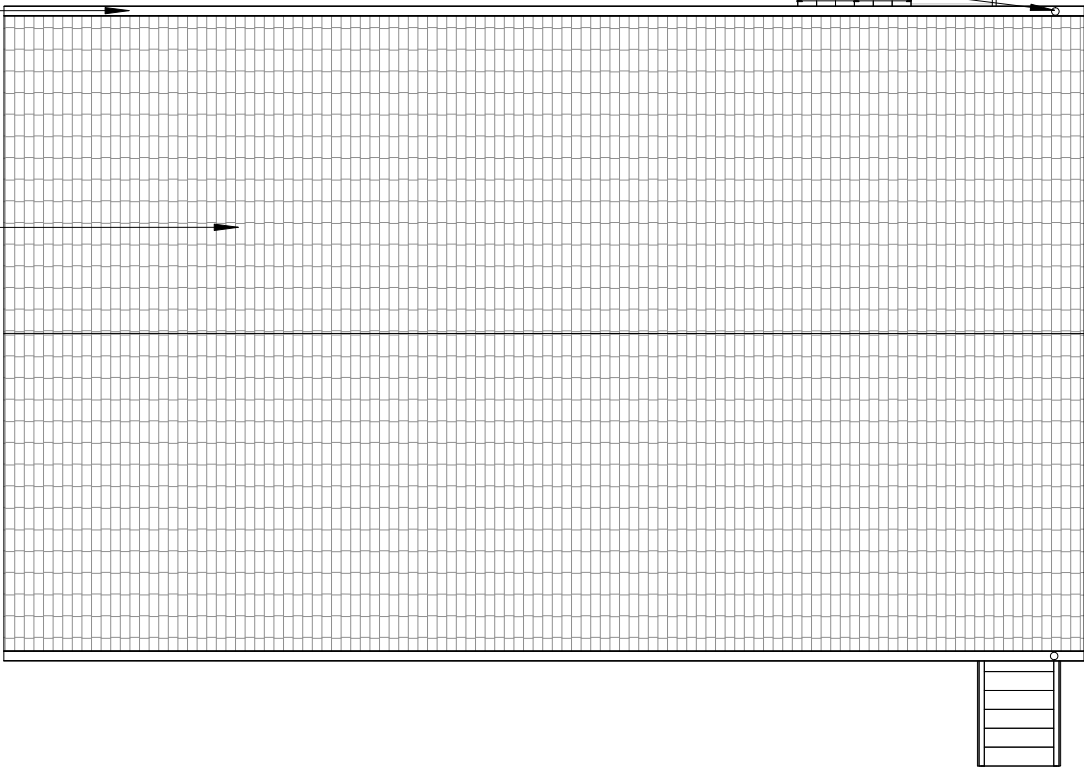


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DOWNPIPES TO
RUBBLE PIT

DOWNPIPES AND
GUTTERS AS
INDICATED.

TILED ROOF
THROUGHOUT



1

PROPOSED ROOF PLAN

1 : 100 @A3

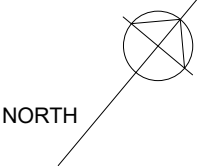
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PRO 1270	SHEET NUMBER A - 05	REV A

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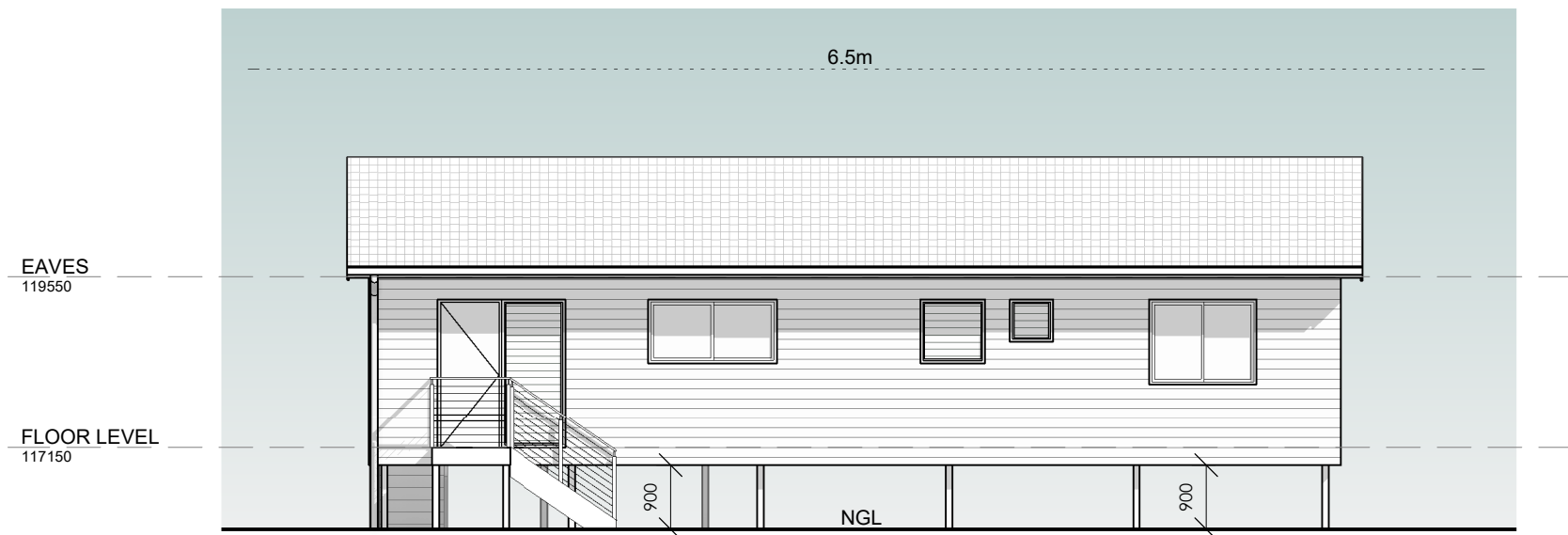
PROJECT ADDRESS:
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SHEET NAME:
PROPOSED ROOF PLAN





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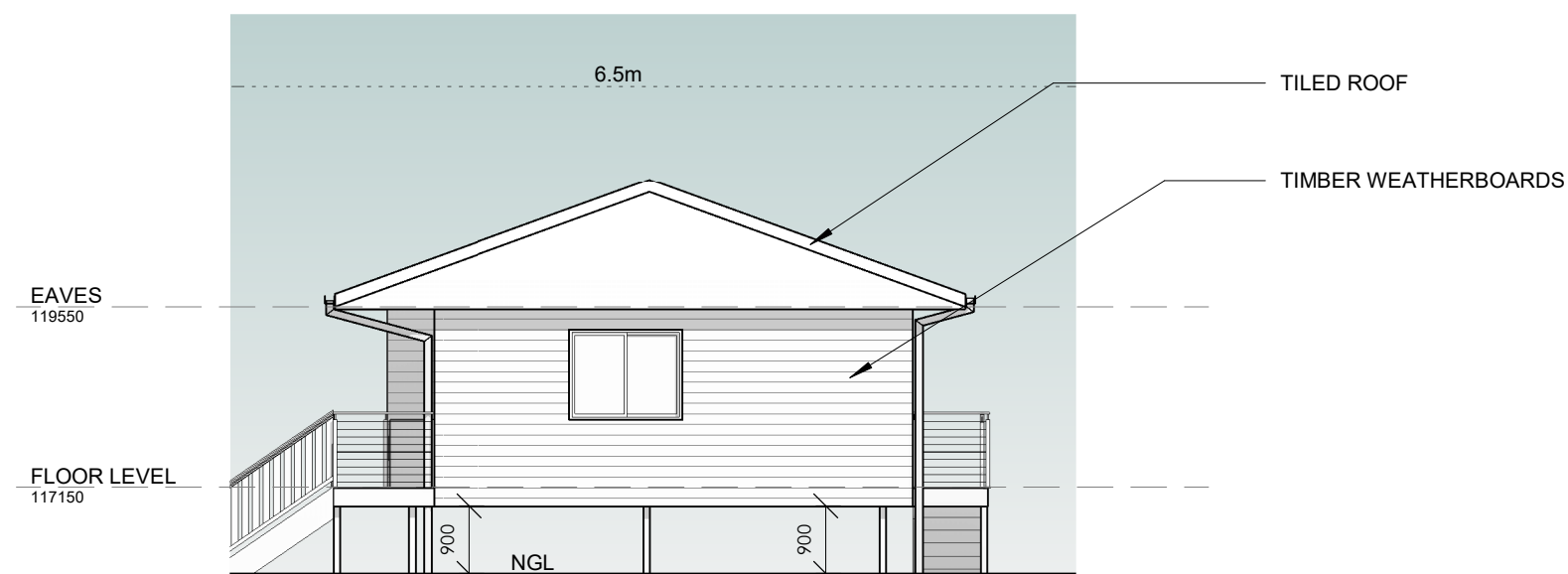
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1

01 NORTH ELEVATION

1 : 100 @A3



2

02 EAST ELEVATION

1 : 100 @A3

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13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 06	REV A

CLIENT NAME:
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PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

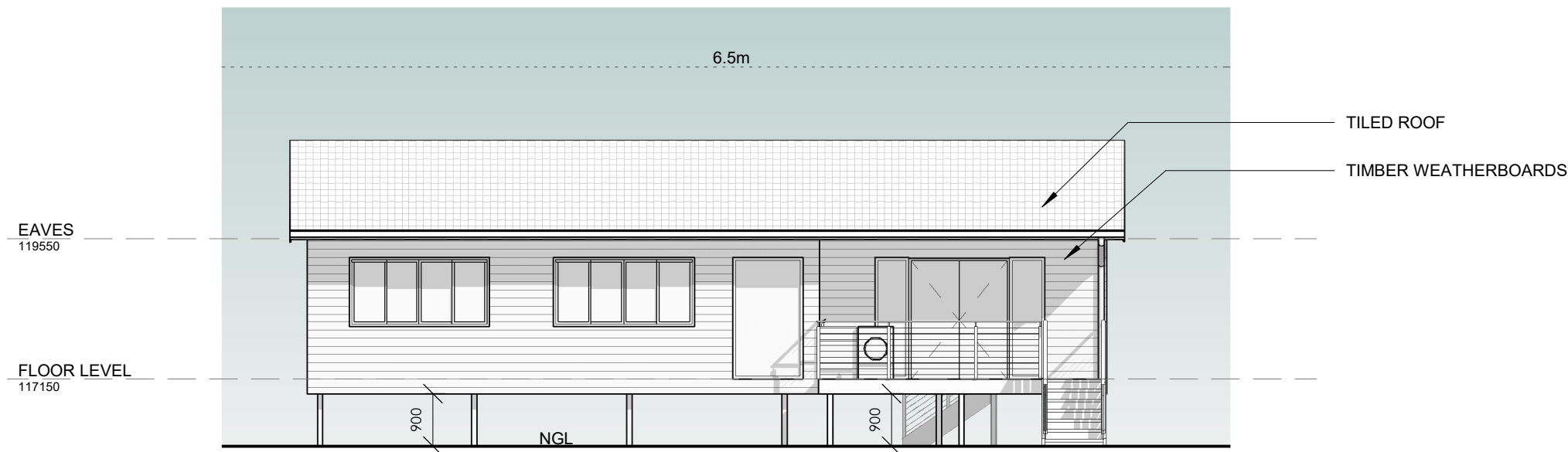
SHEET NAME:
PROPOSED ELEVATIONS 1

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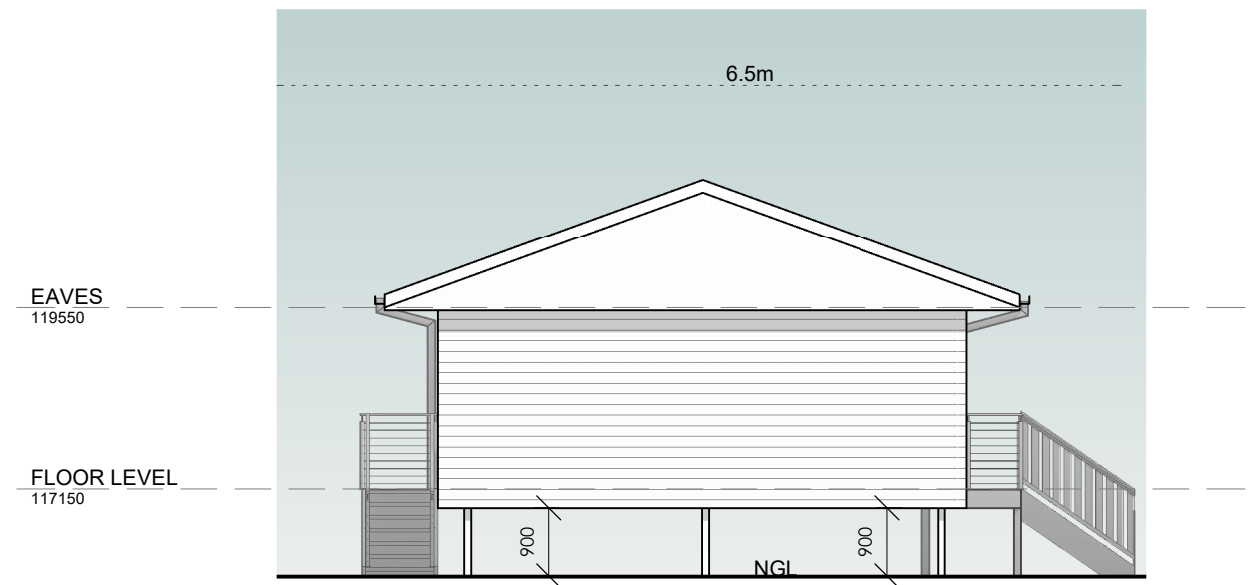
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1 03 SOUTH ELEVATION

1 : 100 @A3



2 04 WEST ELEVATION

1 : 100 @A3

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13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 07	REV A

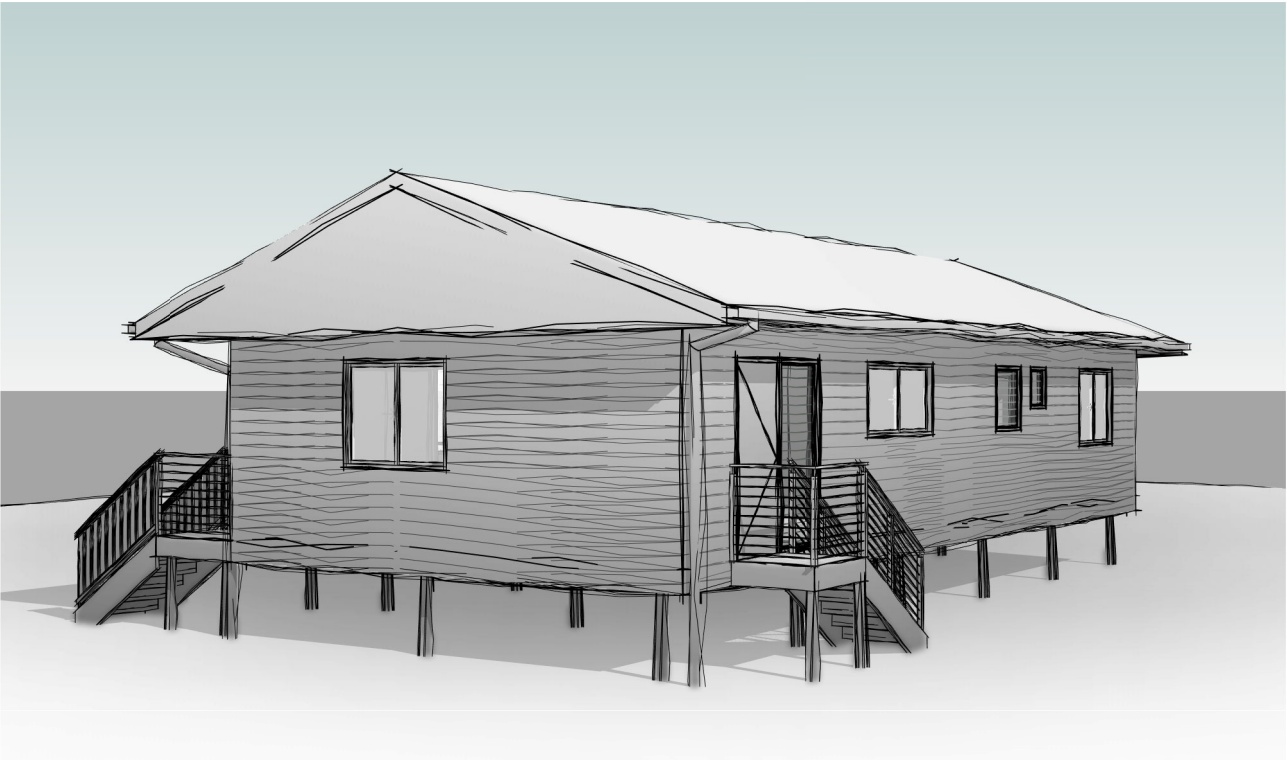
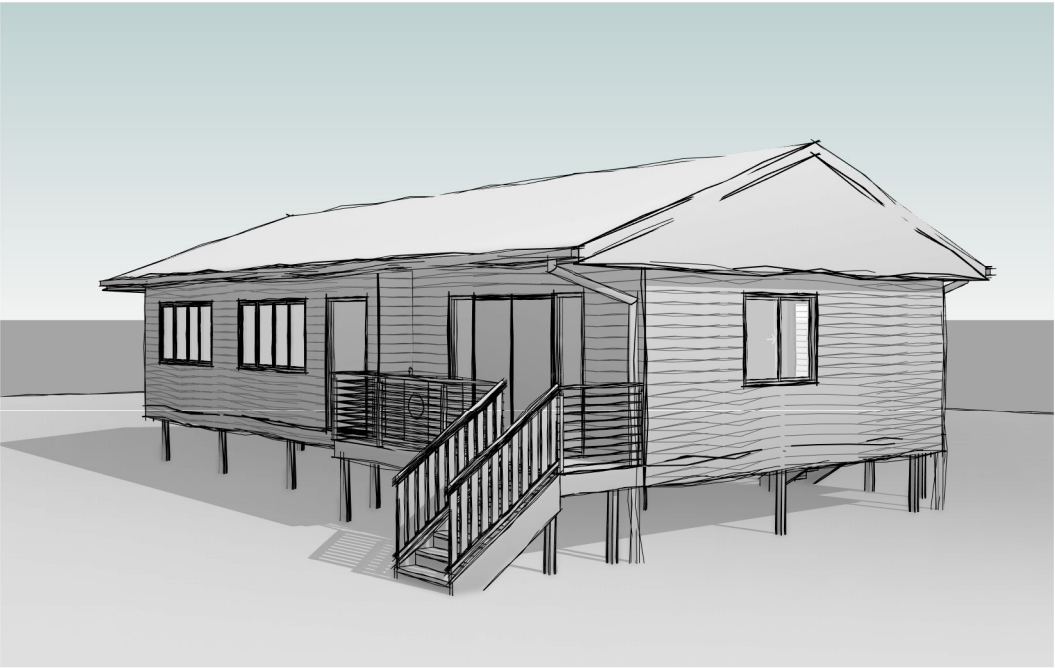
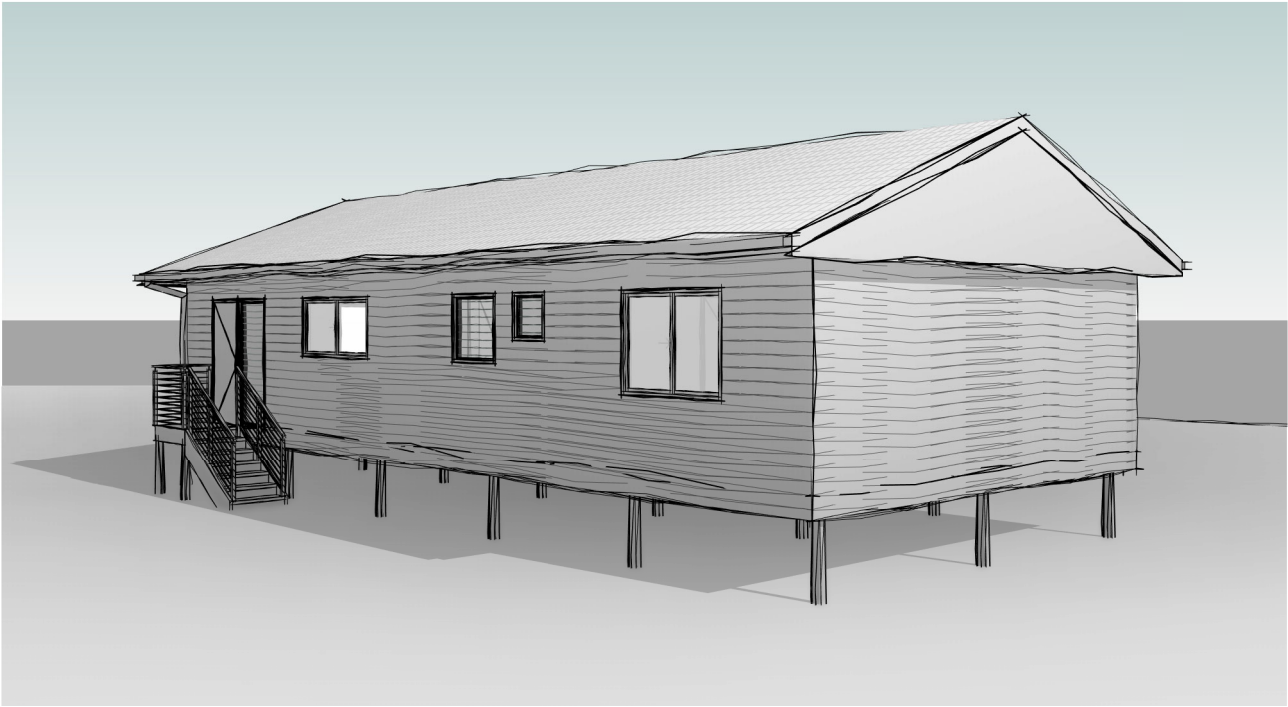
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SHEET NAME:
PROPOSED ELEVATIONS 2

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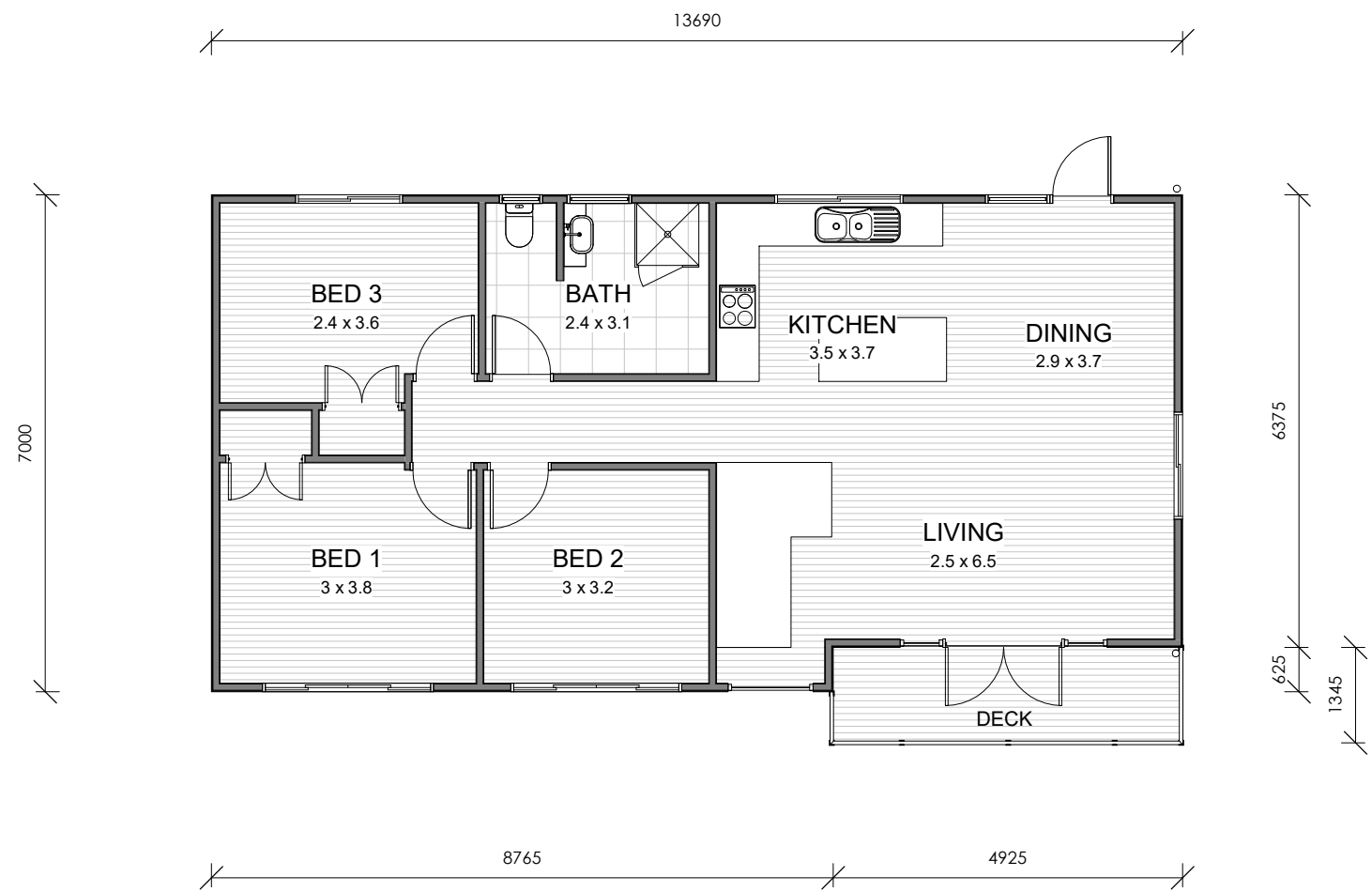
DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 08	REV A

CLIENT NAME:
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SHEET NAME:
3D



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EXISTING MACKAY AND SONS
HOUSE LOCATED 180 NYLETA
ST, COOPERS PLAINS.

1

EXISTING FLOOR PLAN

1 : 100 @A3

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DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 20	REV A

CLIENT NAME:
ROBSTY PTY LTD

PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

SHEET NAME:
EXISTING FLOOR PLAN

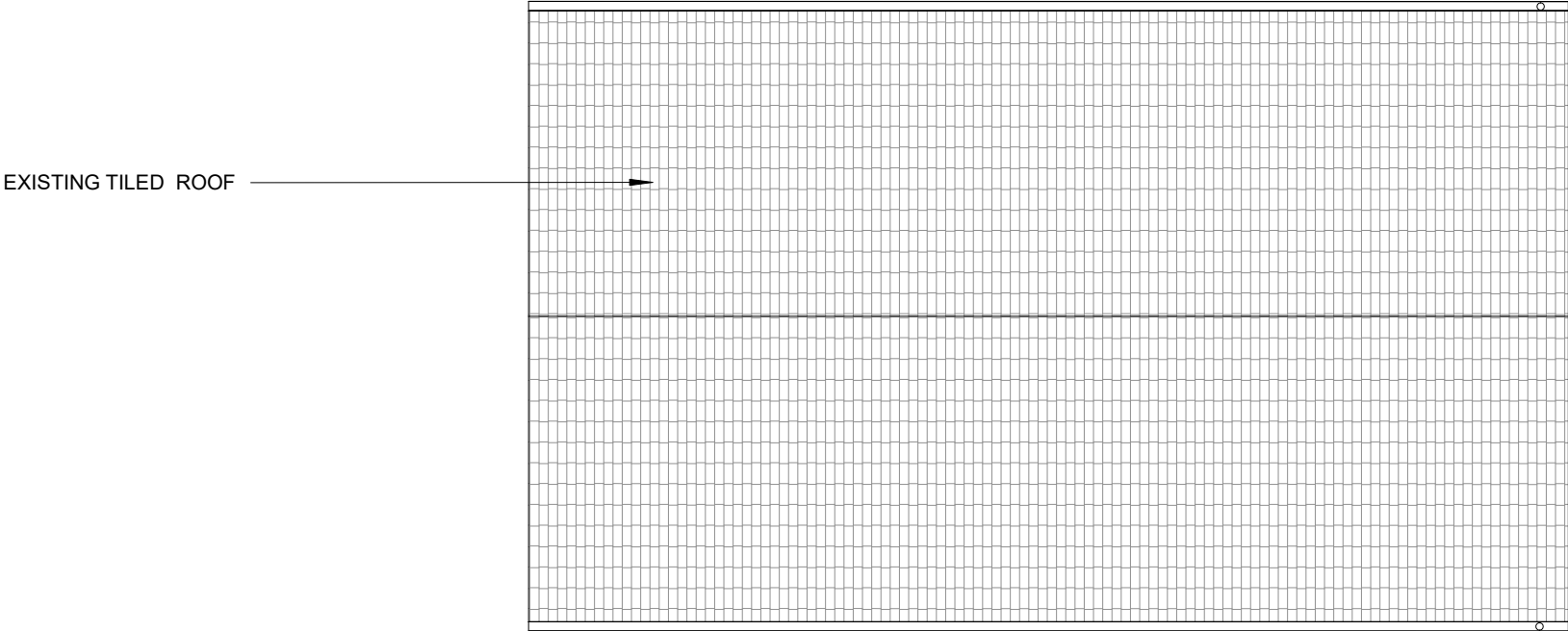


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1

EXISTING ROOF PLAN

1 : 100 @A3

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DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 21	REV A

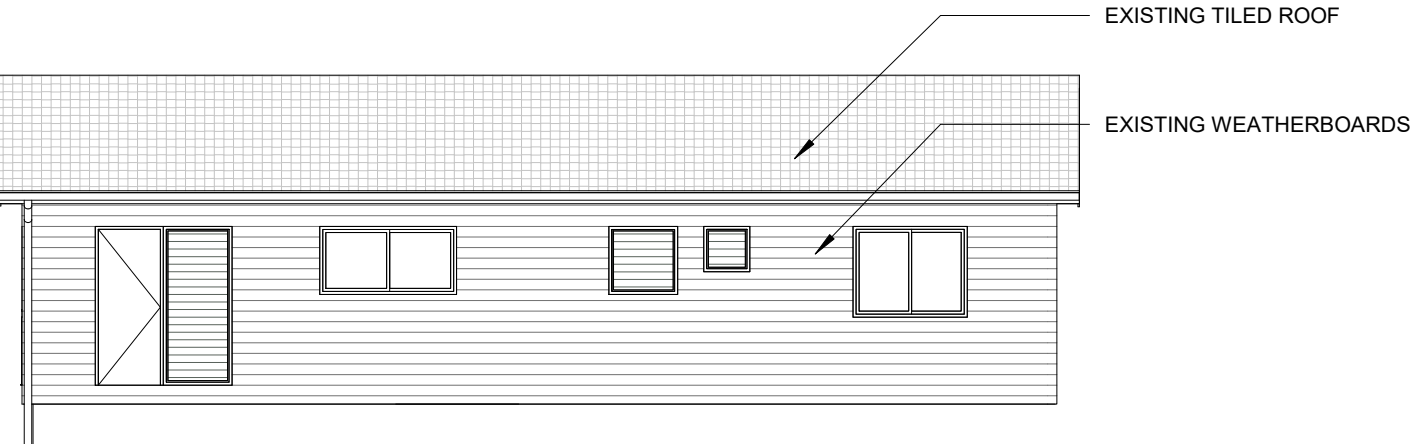
CLIENT NAME:
ROBSTY PTY LTD

PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

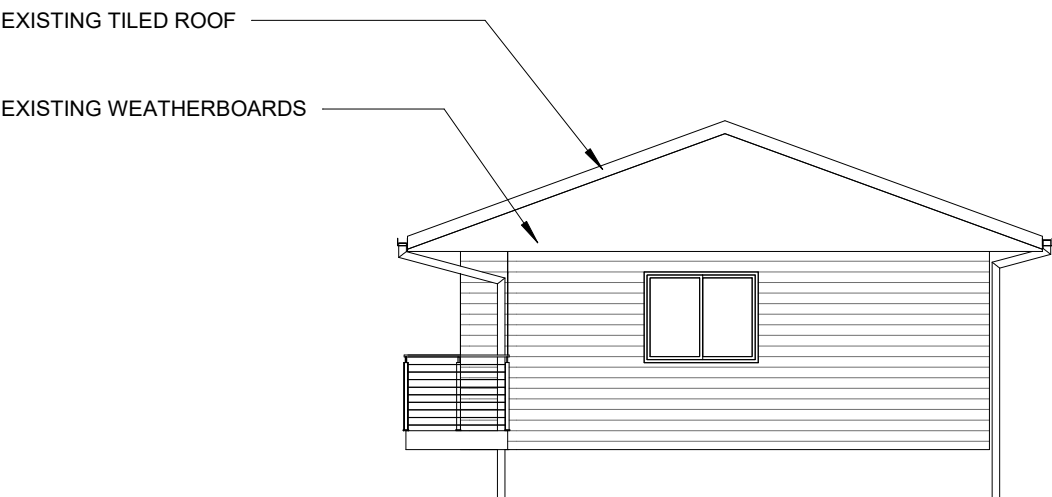
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EXISTING ROOF PLAN



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1 **EXISTING NORTH ELEVATION**
1 : 100 @A3



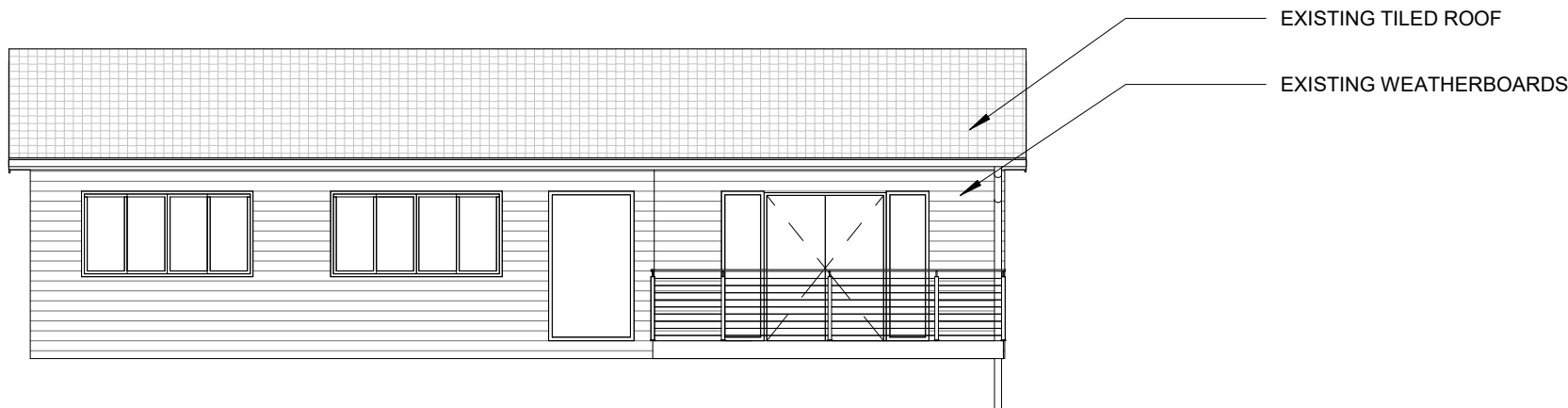
2 **EXISTING EAST ELEVATION**
1 : 100 @A3

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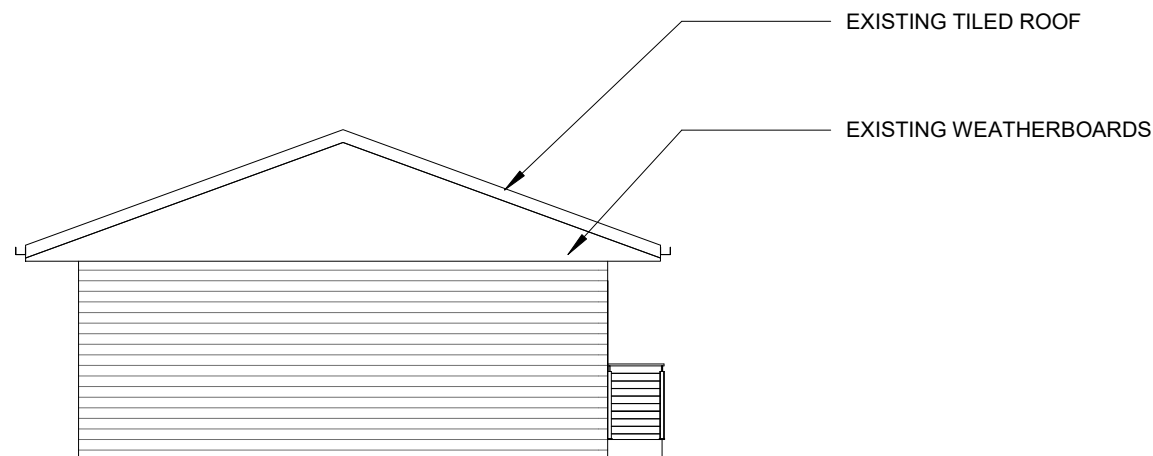
DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 22	REV A

CLIENT NAME:
ROBSTY PTY LTD
PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.
SHEET NAME:
EXISTING ELEVATIONS

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1 **EXISTING SOUTH ELEVATION**
1 : 100 @A3



2 **EXISTING WEST ELEVATION**
1 : 100 @A3

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC & RELEVANT AUSTRALIAN STANDARDS. FULL STRUCTURAL CERTIFICATION IS REQUIRED. DO NOT SCALE FROM DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY FABRICATION, SETOUT OR WORK. ANY COSTS ARISING FROM INCORRECT DIMENSIONING IS THE RESPONSIBILITY OF THE CONTRACTOR IF EVOKE ARCHITECTS IS NOT CONTACTED PRIOR TO CONSTRUCTION. VERIFY LOCATION OF EXISTING SERVICES BEFORE COMMENCEMENT OF WORK.

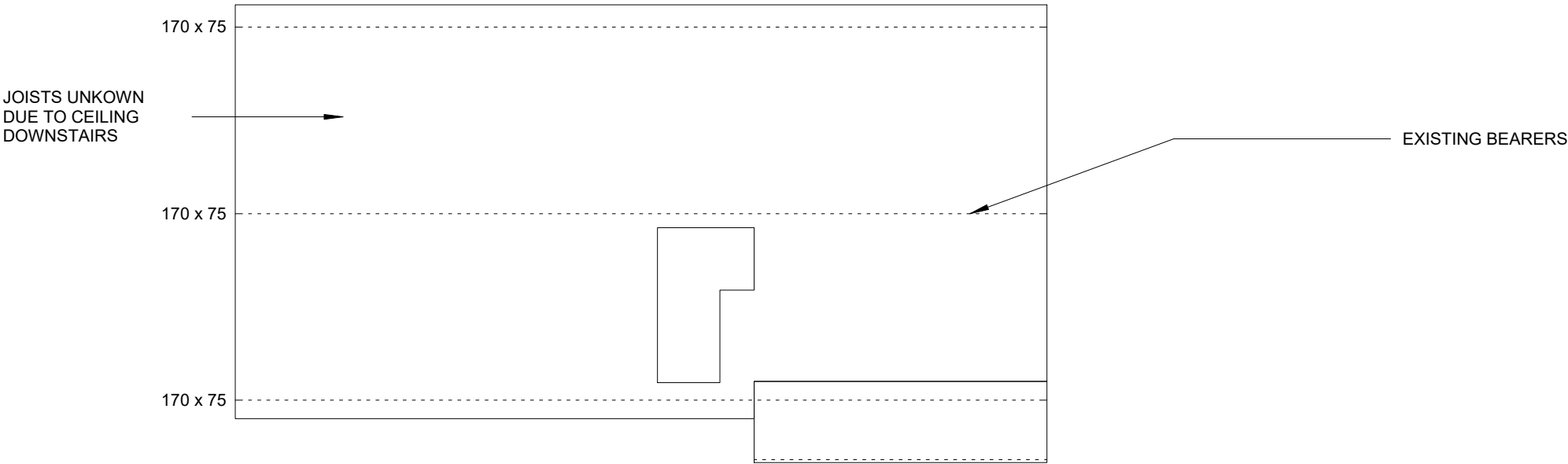
DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 23	REV A

CLIENT NAME:
ROBSTY PTY LTD
PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.
SHEET NAME:
EXISTING ELEVATIONS



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- NOTES:
- ALL DRAWINGS AND DIMENSIONS FOR HOUSE RAISE OR MOVE ONLY. CHECK ALL DIMENSIONS BEFORE COMPLETING OTHER BUILDING WORK.
 - DIMENSIONS TAKE PRIORITY OVER RL'S THAT MAY HAVE BEEN DERIVED FROM COUNCIL CONTOURS
 - LOCAL COUNCIL HEIGHT LIMIT NOT TO BE EXCEEDED



1

EXISTING FLOOR STRUCTURE

1 : 100 @A3

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC & RELEVANT AUSTRALIAN STANDARDS. FULL STRUCTURAL CERTIFICATION IS REQUIRED. DO NOT SCALE FROM DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY FABRICATION, SETOUT OR WORK. ANY COSTS ARISING FROM INCORRECT DIMENSIONING IS THE RESPONSIBILITY OF THE CONTRACTOR IF EVOKE ARCHITECTS IS NOT CONTACTED PRIOR TO CONSTRUCTION. VERIFY LOCATION OF EXISTING SERVICES BEFORE COMMENCEMENT OF WORK.

DATE	DESCRIPTION	REV
13.09.2023	PRELIMINARY	A
PRO 1270	SHEET NUMBER A - 24	REV A

CLIENT NAME:
ROBSTY PTY LTD

PROJECT ADDRESS:
11 FREDERICK ST, BIGGENDEN, QLD, 4621.

SHEET NAME:
EXISTING FLOOR STRUCTURE



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Walker Engineering Pty Ltd
ABN 85 625 656 751
Unit 17/14 Ashtan Place, Banyo QLD 4014
Ph: 07 3256 7008
Email: info@walkereng.com.au

Existing Dwelling Relocation Report

Proposed Existing Dwelling Relocation

Report Number: 05456
Client/Owner: Mackay & Sons
House Removalist: Mackay & Sons

Friday, 12th October 2023

Revision/Checking			
Revision No.	Issue Date	Prepared By	Reviewed By
A	12/10/2023	LR	CW

1.0 Introduction

Walker Engineering was commissioned by Mackay & Sons QLD Pty Ltd on behalf of Mackay & Sons to provide a report of the structural elements in relation to the relocation of the existing dwelling.

The support of the structure during lifting, moving, raising, transporting or in any temporary case, is always the responsibility of the house restumping/relocation contractor. The findings outlined in this report are based on information supplied by the architect/building designer.

Building/Dwelling Location	
Existing Site	180 Nyletta St, Coopers Plains
Proposed Site	TO BE DETERMINED

2.0 Report Limitations

This report is intended for house relocation approval purposes and as such should not be used for any other purpose unless prior written approval is granted by Walker Engineering.

3.0 Site Investigation Method

The investigation consisted of a limited visual inspection of exposed structural elements that are observable in supplied photos. The external and internal areas were inspected and no removal of cladding etc was undertaken. Structural analysis was performed on the existing framing, bracing & tie-down elements. Framing members, bracing & tie-down elements will be re-inspected by a representative of this firm at future site inspections.

4.0 Wind Loading

A wind rating assessment will need to be undertaken by Walker Engineering based on documentation provided, satellite image/map assessment and in accordance with AS4055 wind loads for housing. The building to be relocated will need to withstand wind loading to be determined.

If the site conditions, including shielding, topography, or terrain vary or alternations to the existing building(s) location occur that are not included in the supplied documentation, the wind classification may require to be revised.

Wind Class of to be determined	
Parameter	Adopted Parameter
Wind Region	TO BE DETERMINED
Terrain Category	TO BE DETERMINED
Shielding Factor	TO BE DETERMINED
Topographic Effect	TO BE DETERMINED

5.0 Existing building Construction

The first floor framing and roof framing was observed to be in generally good condition given the age of the building. Although no analysis was conducted on the floor framing to check against current design standards, the structure did appear to be robust.

As the inspection was limited to exposed framing elements, the existing bracing system used on external walls was unable to be established, however based on the performance of the building to date it is likely that the bracing will be catered for by the existing upper level walls.

Existing Building Construction	
Structure Type	Dwelling
No. Storeys	1
Roof Type	Tile
External Cladding	HWD. Weatherboards
Wall Type U/S	HWD. Timber Stud
Internal Lining U/S	Vertically Joined (VJ) Boards
Sub-Floor Structure	HWD. Timber Frame
Sub-Floor Supports	-

6.0 Proposed Alterations to Existing Building Structure

It is understood that all existing ground floor members are to be unchanged or strengthened as required. All existing supports are to be demolished and replaced with new steel Galvanized SHS columns.

7.0 Structural Upgrading Requirements

The existing bracing of the upper level be assessed and likely be considered adequate for the wind rating of the intended site, however the tie-down will not be adequate and will require upgrading to the specifications as detailed on the engineering drawings to be provided.

8.0 Conclusion

Walker Engineering believe the existing dwelling is considered to be in satisfactory condition and is suitable for removal and re-establishment at a proposed address subject to the recommendations of this report and other referenced drawings.

Should there be any further queries regarding the contents of this report, please contact this Walker Engineering via email at info@walkereng.com.au or phone on (07) 3256 7008.



Cristian Walker

BE, AD, MIEAust, CPEng, RPEQ 6896

Appendix A

Site Photos - Existing Building/Dwelling



Site Photo 1 - Front



Site Photo 2 - Rear



Site Photo 3 - Internal Walls



Site Photo 4 - Internal Walls

Asbestos Identification Register

House: 180 Nyletta St,
Coopers plains

From: Brett Thompson

Total Asbestos Quantity: 0

Cost to remove: \$

Room	Walls	Ceiling	Other
Bed 1			
Bed 2			
Bed 3			
Bed 4	This home does not contain asbestos		
Bathroom 1			
Bathroom 2			
Toilet			
Kitchen			
Lounge			
Dining			
Sunroom			
Veranda - Front			
Veranda - Back			
Veranda – Right Side			
Veranda – Left Side			
Interior Laundry			
Entry			
Other			
Exterior			
Gables			
Soffits			
Switchboard			
Flooring			

Prices for asbestos removal are indicative only and are to be confirmed per house depending on the quantity that needs to be removed and the location of asbestos

This is a visual inspection only and does not include concealed asbestos. This report should not be relied up on solely, clients are recommended to complete their own independent assessment

Under House/ Site clear Asbestos:

Location	Walls	Ceiling	Other
Under house			
Shed			
Garage			
Carport			
Exterior laundry			







STANDARD TIMBER PEST REPORT



Report number: 40488P

Inspection date: 29/09/2023

Property address: 180 Nyleta Street, Coopers Plains QLD 4108

Special conditions or instructions

The following apply: The property described in this Report has been inspected in accordance with AS 4349.3. However, this report has been altered to suit the purpose, the inspection of a building intended to be relocated. Accordingly, a further inspection in accordance with AS 3660 should be carried out by a Timber Pest Detection Consultant upon completion of the dwellings relocation to assess the new site and works for any potential timber pest risks or activity, conducive conditions, termite management systems, and environmental pressures.

Contents

	Special conditions or instructions
	The parties
Section A	Results of inspection - summary
Section B	General
Section C	Accessibility
Section D	Significant items
Section E	Conclusion
Section F	Risk management options
Section G	Additional comments
Section H	Certification
	Definitions to help you better understand this report
	Terms on which this report was prepared
Section I	Annexures to this report

If you have any queries with this report or require further information, please do not hesitate to contact the person who carried out the inspection.

The parties

Name of Client:	Mackay Property Holdings Pty Ltd.
Name of Principal (if applicable):	N/A
Address of Client:	9 Cerium Street, Narangba QLD 4504
Client's email or telephone number:	0738889399
Consultant's name:	Mason Browne
Consultant's licence number:	1268865
Company name:	Looksee Inspections.
Company address and postcode:	13 Kippa Street, Kippa Ring Qld 4021
Company email:	info@lookseeinspections.com.au
Company telephone number:	Looksee Inspections 0468 884 400 Mason B 0404 381 088
Pre-engagement inspection agreement number (if applicable):	25/09/2023

Section A Results of inspection - summary

This Summary is not the Report. The following Report **MUST** be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

In respect of significant items:

Evidence of active (live) termites **was not found**.

Evidence of termite activity (including workings) and/or damage **was not found**.

Evidence of a possible previous termite management program **was not found**.

The next inspection to help detect any future termite attack is recommended **in 12 months**.

Evidence of chemical delignification damage **was not found**.

Evidence of fungal decay activity and/or damage **was not found**.

Evidence of wood borer activity and/or damage **was not found**.

Evidence of conditions conducive to timber pest attack **was not found**.

Evidence of major safety hazards **was not found**.

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered **Moderate to High - see Section C**. A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost. For further information or advice see Section C "Accessibility".

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on how to help protect against financial loss due to timber pest attack see Section F.

Important: We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites, for this property.

Section B General

General description of the property

Building type:	Detached house.
Number of storeys:	Highset.
Main building – floor construction:	Suspended hardwood tongue and groove flooring, hardwood timber framed.
Main building – wall construction:	Weatherboard clad, hardwood timber framed.
Main building – roof construction:	Pitched, hardwood timber framed tiled. Note. Partial treated pine (T2) framework additions were seen.
Other timber building elements:	The following were noted: Doors, mouldings, trimmings, skirting, decorations, handrail, internal stairs, shelving, built-in cupboards, fasciae, decking, step treads.
Occupancy status:	Unoccupied and unfurnished.
Orientation (to establish the way the property was viewed):	The façade of the building faces south. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	The weather was fine.

Section C Accessibility

Areas inspected

The inspection covered the Readily Accessible Areas of the Building and Site including the house interior; house exterior; roof exterior; roof space; subfloor space.

Areas not inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. The Consultant did not move or remove any obstructions which may be concealing evidence of defects including timber pest attack. Areas, which are not normally accessible, were not inspected such as under slabs on ground as it is not “considered practical” to gain access to them. Evidence of timber pest attack in obstructed or concealed areas may only be revealed when the items are moved, or access has been provided.

Strata or company title properties

Not applicable.

Obstructions

The following may conceal timber pest attack:

Interior: fixed linings, pipework, fittings, fixtures, floor coverings, stored goods.

Exterior: fixed claddings, pipework, fixtures, vegetation in near contact.

Roof: roofing, ceiling thermal insulation batts, ductwork, pipework, builder’s debris.

Subfloor Space: pipework, fittings, under floor fixed linings and enclosed and lined walls, stored goods.

Inaccessible areas

All normally accessible areas permitted entry.

Undetected timber pest risk assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered:

Moderate-High.

Note. In accordance with AS 4349.3-2010 the Consultant did not move or remove any obstructions. Due to the ‘secretive’ nature of timber pests, it is possible that concealed Timber Pest Attack and damage may exist.

A further inspection of the inaccessible, not readily accessible, or obstructed areas is recommended once the obstructions are removed.

See also, photo: 1-4.

Section D Significant items

The following items were reported on in accordance with the Scope of Inspection.

Timber pest attack

Evidence of timber pest activity and/or timber pest damage:

D1 Active (live) termites – include the location, the genus and where practical the species involved and its potential to cause significant structural damage and whether a nest was or was not found

No evidence was found.

Note. As a delay may exist between the time of an attack and tell-tale signs associated with an attack, it is possible that termite activity and damage exists though not discernible at the time of inspection.

D2 Subterranean termite management proposal

A proposal is not recommended.

D3 Termite workings and/or damage

No evidence was found.

D4 Previous termite management program

No evidence was found.

D5 Frequency of future inspections

The next inspection to help detect termite attack is recommended in 12 months or upon completion of the building relocation, provided that the next inspection does not exceed 12 months.

D6 Chemical delignification

No evidence was found.

D7 Fungal decay

No evidence was found.

D8 Wood Borers

No evidence was found.

Note. As a delay may exist between the time of an attack and the appearance of tell-tale signs associated with an attack, it is possible that borer activity and damage exists though not discernible at the time of inspection. Regular inspections are recommended at intervals not exceeding 12 months.

Conditions conducive to timber pest attack

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

D9 Lack of adequate subfloor ventilation

Not applicable due to construction design.

D10 The presence of excessive moisture

No evidence was found.

Note. Excessive moisture exists where timbers, soil, or areas close thereby hold enough moisture to attract or support termite colony development, fungal growth, and wood-decay. The building may need to be monitored over a period in different weather conditions with the general use of the plumbing services to detect or confirm a moisture or damp problem as their presence is not always consistent.

D11 Bridging or breaching of termite management systems and inspection zones.

Not applicable as the building is intended to be relocated.

D12 Untreated or non-durable timber used in a hazardous environment

No evidence was found.

D13 Other conditions conducive to timber pest attack

No evidence was found.

Major safety hazards

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

D14 Major safety hazards

No evidence was found.

Section E Conclusion

The following Timber Pest remediation actions are recommended:

1. **No** treatment of Timber Pest Attack is required.
2. In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures **is not recommended**.
3. **No** removal of Conditions Conducive to Timber Pest Attack is necessary.
4. Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended **in 12 months**.

Your attention is drawn to the advice contained in the Terms & Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

Section F Risk management options


It is recommended that the client act on the following advice to further protect their investment against timber pest infestation: The Client should further investigate any high-risk area where access was not gained and undertake thorough regular inspections at intervals not exceeding twelve months or upon completion of the building relocation, provided that the next inspection does not exceed 12 months.

Section G Additional comments

There are no additional comments.

Section H Certification

This document certifies that the property described in this Report has been inspected by the Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report.

Authorised Signatory: 

Name: Mason Browne

Contact: 0404 381 088

Date of Issue: 1 October, 2023

Definitions to help you better understand this report

“Timber Pest Attack” Timber Pest Activity and/or Timber Pest Damage.

“Timber Pest Activity” Tell-tale signs associated with ‘active’ (live) and/or ‘inactive’ (absence of live) Timber Pests at the time of inspection.

“Timber Pest Damage” Noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

“Major Safety Hazard” Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

“Conditions Conducive to Timber Pest Attack” Noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

“Readily Accessible Areas” Areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels or accessible from a 3.6 metre ladder, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term ‘readily accessible’ also includes:

(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e., 400 mm high by 600 mm wide); and

(b) areas at the eaves of accessible roof spaces that are within the consultant’s unobstructed line of sight and within arm’s length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

“Client” The person or persons for whom the Timber Pest Report was carried out or their Principal (i.e. the person or persons for whom the report was being obtained).

“Timber Pest Detection Consultant” A person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

“Building and Site” The main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

“Timber Pests” One or more of the following woods destroying agents which attack timber in service and affect its structural properties:

- (a) Chemical Delignification - the breakdown of timber through chemical action.
- (b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (c) Wood Borers - wood destroying insects belonging to the order ‘Coleoptera’ which commonly attack seasoned timber.
- (d) Termites - wood destroying insects belonging to the order ‘Isoptera’ which commonly attack seasoned timber.

“Tests” Additional attention to the visual examination was given to those accessible areas which the consultant’s experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

“Instrument Testing” Where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;
- (b) stethoscope - an instrument used to hear sounds made by termites within building elements;
- (c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g., bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) sounding - a technique where timber is tapped with a solid object.

“Subterranean Termite Management Proposal” A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Terms on which this report was prepared

SERVICE As requested by the Client; the inspection carried out by the Timber Pest Detection Consultant (“the Consultant”) was a “Pre-Purchase Standard Timber Pest Report”.

PURPOSE The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only deals with the detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests. Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

ACCEPTANCE CRITERIA Unless noted in “Special Conditions or Instructions”, the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation. Unless noted in “Special Conditions or Instructions”, this Report assumes that the existing use of the building will continue. This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of timber pest attack, including but not limited to, timber pest attack concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent timber pest attack, including but not limited to, timber pest attack that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report. If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report. The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of dry wood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections including the carrying out of appropriate tests are required to help monitor susceptible timbers.
5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g., subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

EXCLUSIONS The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification, or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Section I Annexures to this report



Photo no: 1. Section C, roof exterior inspected.



Photo no: 2. Section C, subfloor framing where visible.



Photo no: 3. Section C, roof space inspected.



Photo no: 4. Section C, roof space inspected.