

5 February 2024

Our reference: DA240002
Document ID: 1198332

Direct Portable Buildings
645 Chevallum Road, Yard C Kembla Court
CHEVALLUM QLD 4555

Dear Applicant

CONCURRENCE AGENCY RESPONSE
45 MOUNT SHAMROCK ROAD, DIDCOT
(Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 17 January 2024. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

Applicant details

Applicant name:	Direct Portable Buildings
Applicant contact details:	645 Chevallum Road, Yard C Kembla Court CHEVALLUM QLD 4555
Email:	
Phone:	1300 156 667
Mobile:	

Site details

Street address:	45 MOUNT SHAMROCK ROAD, DIDCOT
Real property description:	334CK1033

Application details

Application No:	DA240002
Date of Decision	5 February 2024
Proposed development:	Development Permit for Building Works

Aspects of development and type of approval being sought

Nature of Development	Approval Type	Brief Description of Proposal
Concurrency Agency	Development Permit	Dwelling - Design and Siting

Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact
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Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that;
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The development approval must be subject to stated development conditions set out in Attachment 1

Conditions

This approval is subject to the conditions in [Attachment 1](#).

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

Reasons for decision to impose conditions

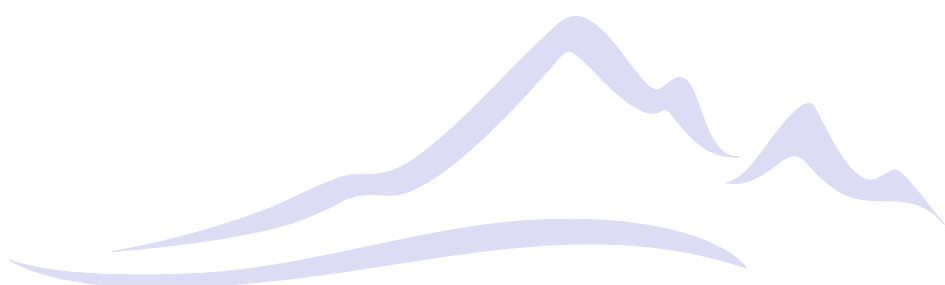
Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in [Attachment 2](#).

Approved Plans and Specifications

Document No./ Reference	Title (prepared by)	Date
SP7254-23	Site Plan	16.01.2024
IP7254-23/1	Insert Plan	16.01.2024
IP7254-23/2	Insert Plan 2	16.01.2024
A-1/1	Cover Page by Direct Portable Buildings	05.02.2022
A-1/2	Layout by Direct Portable Buildings	05.02.2022
A-1/3	Floor Plan by Direct Portable Buildings	05.02.2022
A-1/4	Elevations by Direct Portable Buildings	05.02.2022

Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.



Should you require any further assistance in process, please contact Council's Development Services Department on 1300 696 272.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'for Mike Lisle', with a stylized, cursive script.

Mike Lisle

Planning and Environment Manager

Enc: Attachment 1-conditions to be imposed
Attachment 2-reasons for decision to impose conditions
Attachment 3-appeal rights
Attachment 4-plans

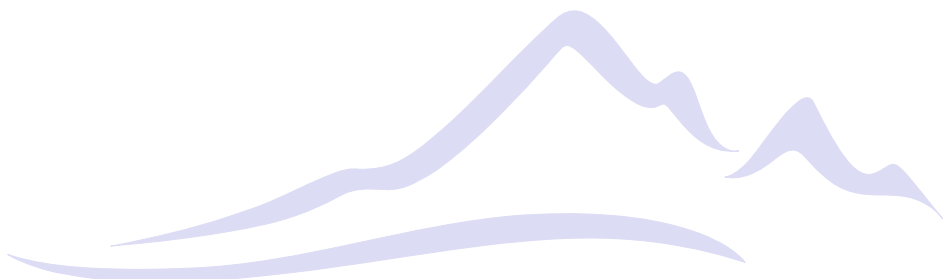


Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
General	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
Design and Siting	
2.	The approved dwelling must be sited a minimum 3.8 metres from the western property boundary, with all setbacks measured from the outermost projection of the structure.
3.	The deck/verandah is to be maintained as an 'open' structure and is not to be infilled with walling, windows or doors.
4.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
Use	
5.	The approved dwelling is to be used for private/domestic purposes only. The approved structure must not be used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit

Attachment 1B – Advice Notes

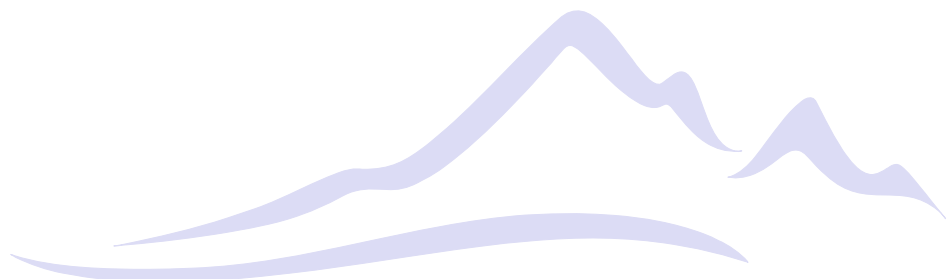
A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.



Attachment 2 – Reasons for decision to impose conditions

The reason for this decision are:

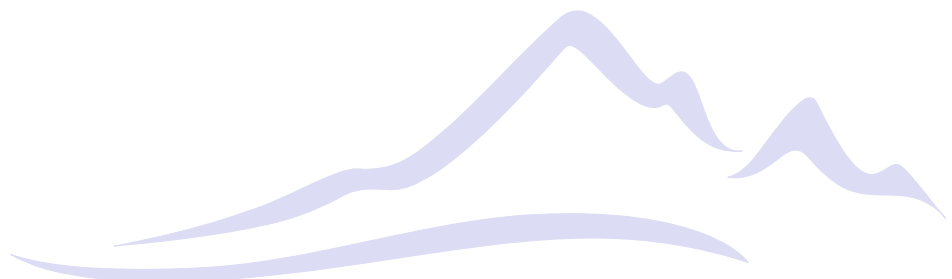
- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.
- The Amenity and Aesthetics policy adopted by North Burnett Regional Council on the 4 November 2016 states that matters for consideration are to be the architectural style, building form, construction materials and physical condition of the proposed dwelling complements existing houses in the locality and surrounding pattern of development.



Attachment 3 – Approved Plans

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Please refer to the following pages for approved plans.



25°26'37"S 151°54'24"E

25°26'14"S 151°55'42"E



25°27'31"S 151°54'43"E

25°27'8"S 151°56'1"E

DRAWING TITLE & NO._ SITE PLAN_SP7254-23
DATE: 16/01/2024
ADDRESS_45 Mount Shamrock Road DIDCOT QLD 4621
OWNER_Norma Jean Berrie
CONTRACTOR_Direct Portable Buildings
QBCC LIC. NO._ 15027108



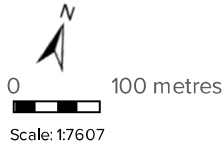
Legend located on next page



APPROVED PLANS

These plans are associated to the
decision notice for application number

DA240002



Printed at: A3
Print date: 16/1/2024
Not suitable for accurate measurement.
Projection: Web Mercator EPSG 102100 (3857)
For more information, visit <https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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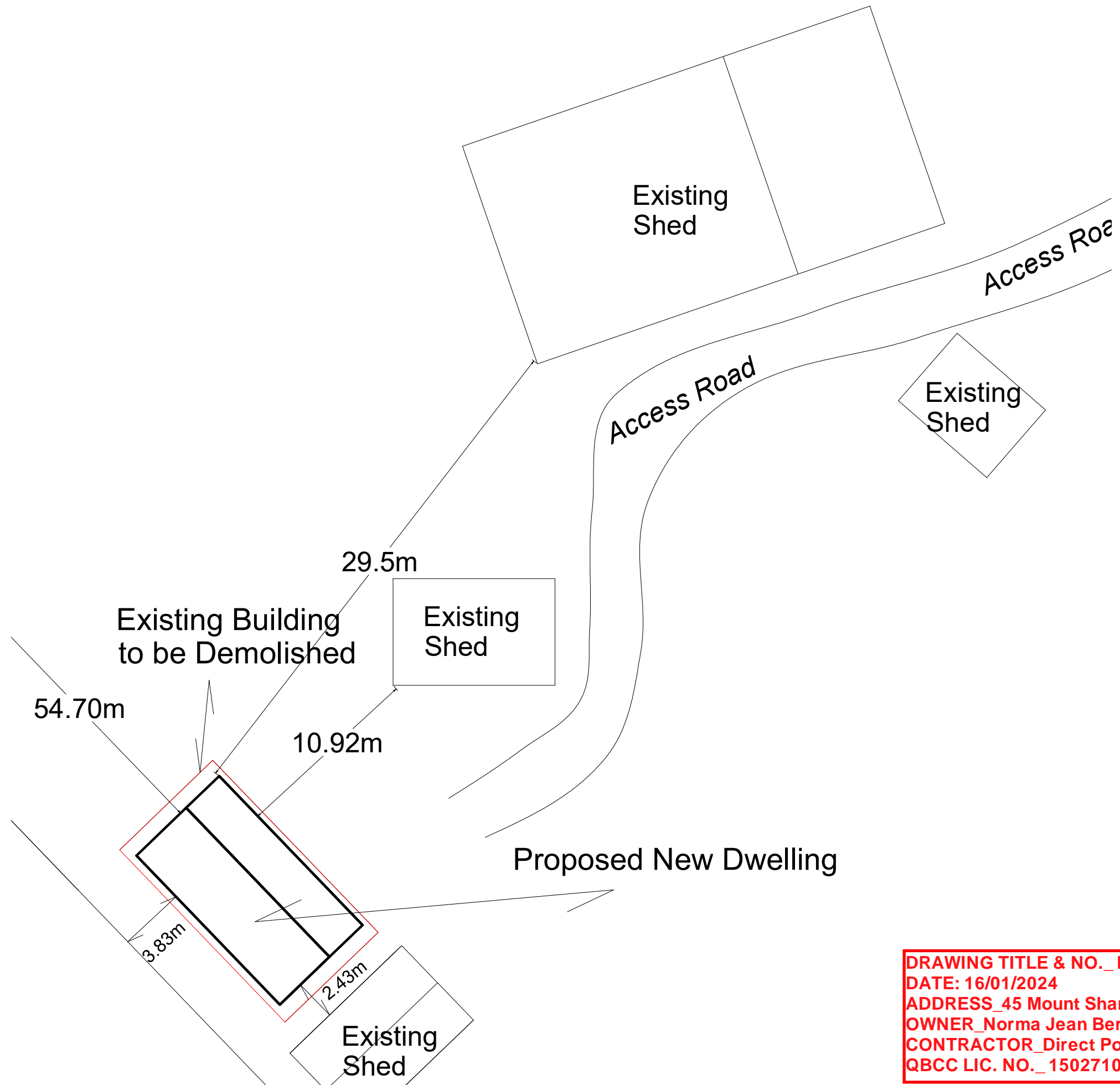

NORTH BURNETT
REGIONAL COUNCIL

APPROVED PLANS

These plans are associated to the
decision notice for application number

DA240002

DRAWING TITLE & NO._ INSERT PLAN 1_IP7254-23/1
DATE: 16/01/2024
ADDRESS_45 Mount Shamrock Road DIDCOT QLD 4621
OWNER_Norma Jean Berrie
CONTRACTOR_Direct Portable Buildings
QBCC LIC. NO._ 15027108




NORTH BURNETT
REGIONAL COUNCIL

APPROVED PLANS

These plans are associated to the
decision notice for application number

DA240002



DRAWING TITLE & NO._ INSERT PLAN 2_IP7254-23/2
DATE: 16/01/2024
ADDRESS_45 Mount Shamrock Road DIDCOT QLD 4621
OWNER_Norma Jean Berrie
CONTRACTOR_Direct Portable Buildings
QBCC LIC. NO._ 15027108



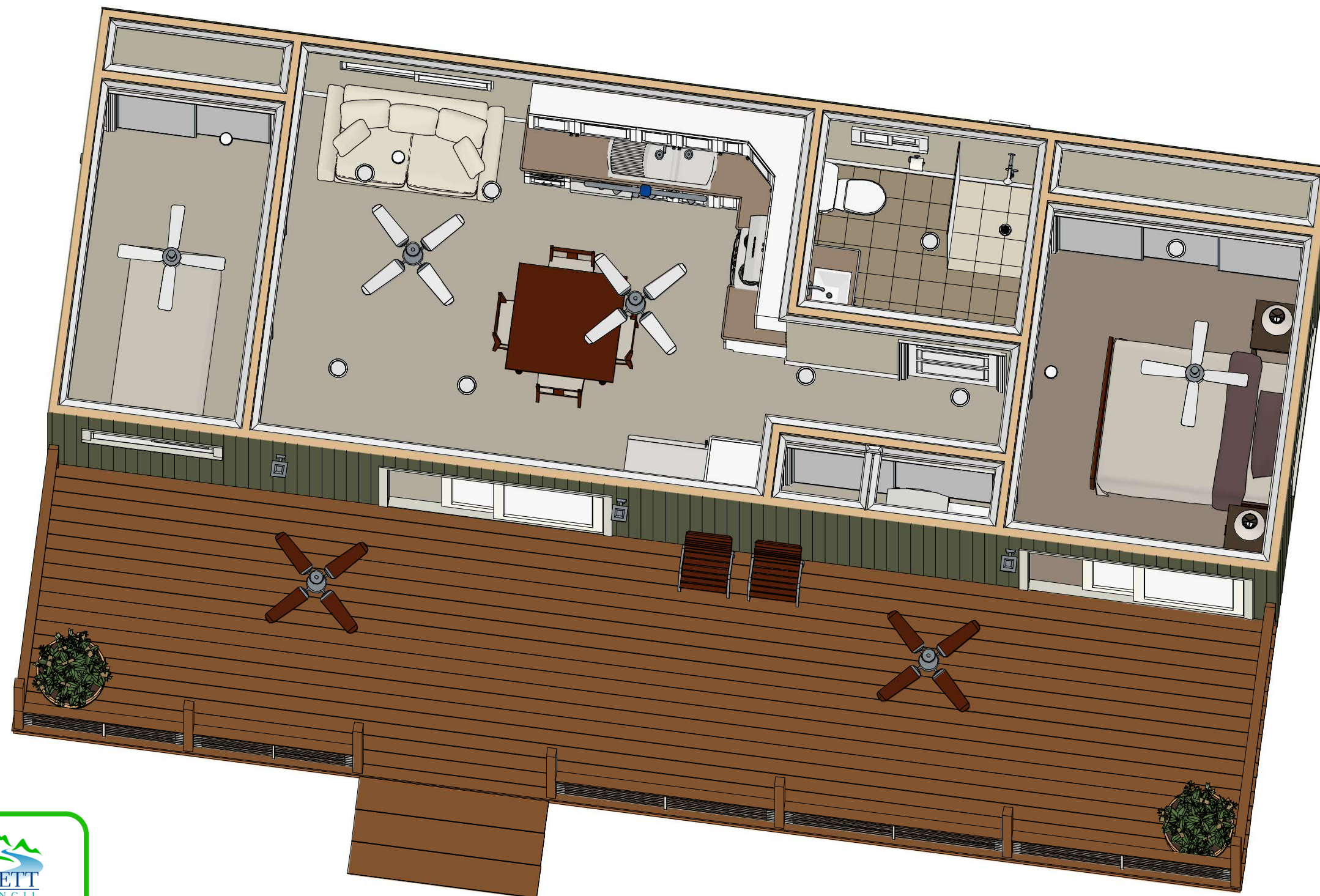


APPROVED PLANS

These plans are associated to the decision notice for application number

DA240002

NO.	DESCRIPTION	BY	DATE
Rev0	12m x 4.0m Paroo	DBD	05-02-22
Direct Portable Buildings 7071 Bruce Highway Chevallum Qld 4555 Qbcc Lic: 15027108			
12m x 4.0m Paroo Two Bedroom One Bath Living Area 48m2 Deck Area 31.2m2			
DRAWINGS PROVIDED BY: DB Doneman DIRECT PORTABLE BUILDINGS			
DATE:			
05-02-22			
SCALE:			
1:35			
SHEET:			
A-1			



APPROVED PLANS

These plans are associated to the
decision notice for application number

DA240002

NO.	DESCRIPTION	BY	DATE
Rev0	12m x 4.0m Paroo	DBD	05-02-22

Direct Portable Buildings
7071 Bruce Highway
Chevallum Qld 4555
Qbcc Lic: 15027108

12m x 4.0m Paroo
Two Bedroom One Bath
Living Area 48m2
Deck Area 32m2

DRAWINGS PROVIDED BY:
DB Doneman
DIRECT PORTABLE
BUILDINGS

DATE:

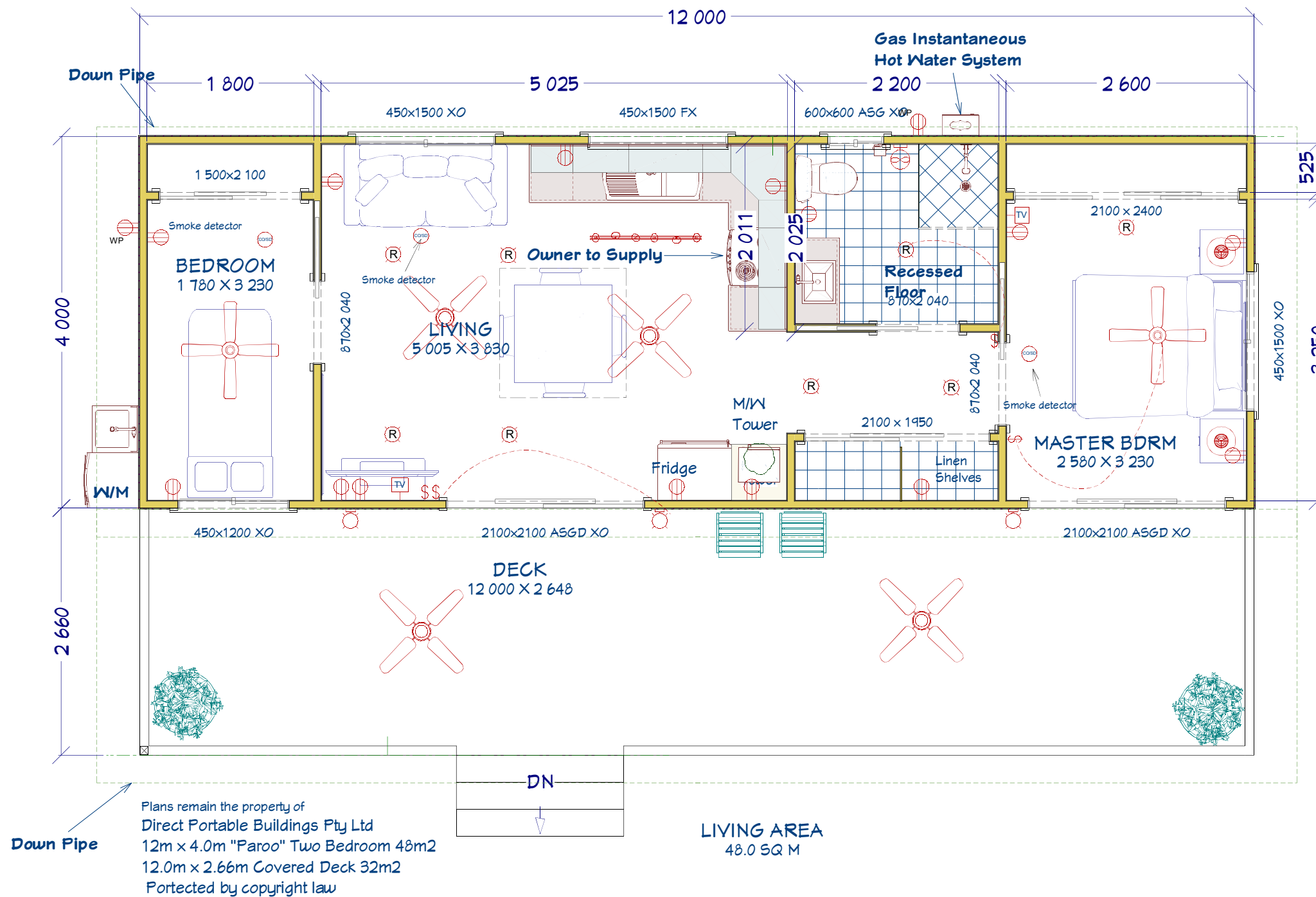
05-02-22

SCALE:

1:35

SHEET:

A-1



1st Floor



Legend	
Double GPO Wall	
Switch	
Down Light	
Exterior Light	
TV Point	
Exhaust Fan	
Smoke detector	
Split System Air Con	
Exterior GPO	

NO.	DESCRIPTION	BY	DATE
Rev0	12m x 4.0m Paroo	D&D	05-02-22

Direct Portable Buildings
7071 Bruce Highway
Chevallum Qld 4555
Qbcc Lic: 15027108

12m x 4.0m Paroo
Two Bedroom One Bath
Living Area 48m2
Deck Area 32m2

DRAWINGS PROVIDED BY:
DB Doneman
DIRECT PORTABLE
BUILDINGS

DATE:
05-02-22

SCALE:
1:35

SHEET:
A-1



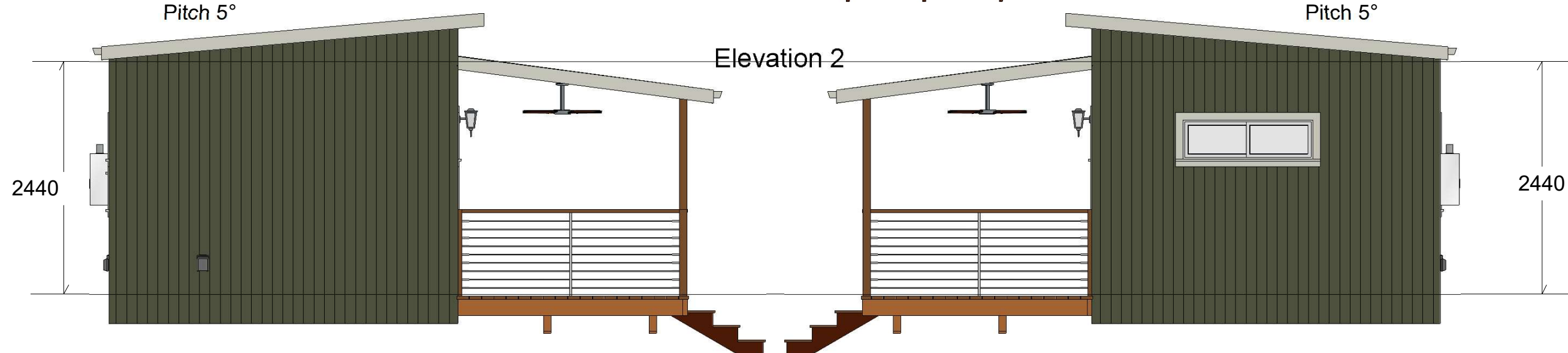
Pitch 5°

Elevation 1



Pitch 5°

Elevation 2



Elevation 3

Elevation 4



APPROVED PLANS
These plans are associated to the
decision notice for application number
DA240002

NO.	DESCRIPTION	BY	DATE
Rev0	12m x 4.0m Paroo	DBD	05-02-22

irect Portable Buildings
7071 Bruce Highway
Chevallum Qld 4555
Qbcc Lic: 15027108

TV

DRAWINGS PROVIDED BY:
DB Doneman
DIRECT PORTABLE
BUILDINGS

DATE:

05-02-22

SCALE:

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SHEET:

A-1

DRAWING TITLE & NO._ ELEVATIONS_A-1/4
DATE: 05/02/2022

Attachment 4 – Planning Act 2016 Extract Appeal Rights

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Please refer to attached document or

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

