

Applicant response to an information request

Section 13 of the Development Assessment Rules

DA240006	[application reference number]
Colleen Cunliffe	[applicant's name]
C/- JB Serisier Surveyors PO Box 540 surevying@cullenc.com.au	[contact address/email address]
	[contact number]
	[notice date]
North Burnett Regional Council	[name of entity who made the information request]
PO Box 390 GAYNDAH QLD 4625	[address of entity who made the information request]
RE: Development application for: Reconfiguring a lot - Boundary Realignment (2 into 2 lots) 44 WALSH STREET, BIGGENDEN L63 RP79469:PAR DEGILBO, L1 RP166611 & L52 SP285210	
Dear <i>Sir/Madam</i>	[sir/madam/name]

In accordance with section 13.2 of the Development Assessment Rules, I wish to advise that I am providing:

[tick relevant boxes]

all of the information requested [ensure all information provided is attached to this notice]

Information Request response document and attachments to document [list information provided]

or

part of the information requested [ensure all information provided is attached to this notice]

[list information provided]

In giving this part-response I also advise that:

I now require you to proceed with your assessment of this application under section 13.3 of the Development Assessment Rules, effectively ending my applicant-response period.

or

I intend to provide further information at a later time before the end of the applicant-response period.

or

None of the information requested and I now require you to proceed with your assessment of this application under section 13.3 of the Development Assessment Rules, effectively ending my applicant-response period.

If you wish to discuss this matter further, please contact me on the above telephone number.

Yours sincerely

Lauren McVicar (Town Planner - SB Senior Surveyors)
LMcVicar 30/5/24. [applicant, signature and date]

cc: *Assessment manager [where notice is being given to a referral agency]*



ABN
EMAIL
MOBILE

58 Lyons Street
Mundubbera QLD 4626
PO Box 540
Pialba QLD 4655
67 050 842 503
jbs.surv@bigpond.net.au
0427 424 787

Our Ref: S230887

30th May 2024

DIRECTORS

John Broe:

Environmental, Planning &
Development Consultant
Cadastral Surveyor
Managing Director

Ray Tabulo:

Spatial Scientist
Cadastral Surveyor

Scott Archbold:

Registered Surveyor

Assessment Manager
The Chief Executive Officer
North Burnett Regional Council
PO Box 390
GAYNDAH QLD 4625

ATTENTION: Development Assessment Team

Dear Sir/Madam,

Re: Applicant response to Information Request - Reconfiguring of a Lot – Two (2) into two (2) lot boundary realignment at 44 Walsh Street & 1 Kent Street, Biggenden QLD 4621 (Lot 63 on RP79469 & Lot 1 on RP166611)

On behalf of our client, Colleen Cunliffe, we hereby submit the following in response to the Information Request (dated 13 March 2024) issued by North Burnett Regional Council in relation to the abovementioned development application: -

Item 1 – Information Required:

The intended use and development of the southwestern portion of proposed Lot 63. The application refers to “...additional land so that our clients can build a manager’s residence for the motel.”

Please provide further details about the form and location of any new buildings.

Item 1 – Applicant response:

In response to Item 1 of the Information Request, please refer to plans provided in **Attachment A** that detail the form and location of the proposed new manager’s residence for the motel.

Item 2 – Information Required:

How the southwestern portion of proposed Lot 63 would be serviced with relevant urban services – for example, as the Council would only allow one water and one sewer connection per lot, it would be necessary to extend the existing internal plumbing and house drains to enable the whole of Lot 63 to be serviced. Extending services across boundaries or sharing them across lots would not be possible.

Item 2 – Applicant response:

In response to Item 2 of the Information Request, please refer to the plans provided in **Attachment A** and the completed Plumbing Application Form 1 provided in **Attachment B** (for your information). The plans in **Attachment A** detail how the proposed manager’s residence will be serviced with the relevant urban infrastructure (i.e. water and sewerage).

We trust the above information is sufficient in responding to the Information Request, and request that assessment of the application continue.

Yours faithfully

JB Serisier Surveyors

Lauren McVicar

Town Planner

[Enc] **Attachment A** – Plans prepared by Waterwise Design, 240522 – H – 001 – PR – A, dated May 2024.
Attachment B – Plumbing Application Form 1

ATTACHMENT A

Plans prepared by Waterwise Design, 240522 – H – 001 – PR – A, dated May 2024

SEWERAGE

- All sewerage shall comply with Australian standard AS3000, BCA, and other authorities or regulations having jurisdiction over the installation. Make all necessary applications and pay all associated fees and charges.
- Co-ordinate with other services contractors before commencing to determine the correct construction sequence.
- Confirm the location and level of the nominated outlet before laying of any drains.
- Pipework shall be DN100mm unless noted otherwise. All pipework shall be equal to or greater than the nominated outlet size of the fixture, appliance or tundish.
- Waste pipes of DN100 shall be graded at 1:60 and all other pipework shall be graded at 1:40. Vents shall be graded at 1:60.
- Where pipework penetrates fire rated walls, ceilings or floors, a fire stop collar shall be installed. All work shall be strictly installed to the manufacturer's recommendations. Refer to the specification for further details.
- All pipework shall be adequately supported. Support system shall be designed to safety and completely support the weight of pipework and associated work. Support system shall be installed immediately on pipe installation and allowance for expansion provided.
- Pipework shall be constructed of Unplasticized Polyvinyl Chloride (UPVC), U.N.O. Polyethylene (HDPE).

All pipework shall be concealed in walls, void space or ducts unless noted otherwise.

Pipework shall be pressure tested progressively to ensure no leaks. Refer Specification.

Where floor waste gullies are indicated, the floors shall be graded towards the outlet.

Tundishes shall be installed to receive Mechanical Plant waste and be connected above waste traps where detailed on Mechanical Engineer's drawings. Discharge to tundishes shall be 25mm above the tundish edge and be located in an accessible position.

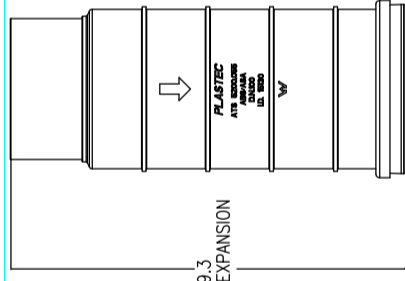


ABBREVIATIONS

- BASIN
- IOS INSPECTION OPENING TO SURFACE
- CW COLD WATER
- DSK DOUBLE SINK
- FWG FLOOR WASTE GULLY
- ORG OVERFLOW RELIEF GULLY
- HW HOT WATER
- IO INSPECTION OPENING
- SK SINK
- SWR SINK WASTER
- VP VENT PIPE
- WC WATER CLOSET
- WIR WIRING TRAY
- EMM EXHAUST MECHANICAL DROPPER
- FSR FIRE SERVICE RISER
- SND STORMWATER DISCHARGER

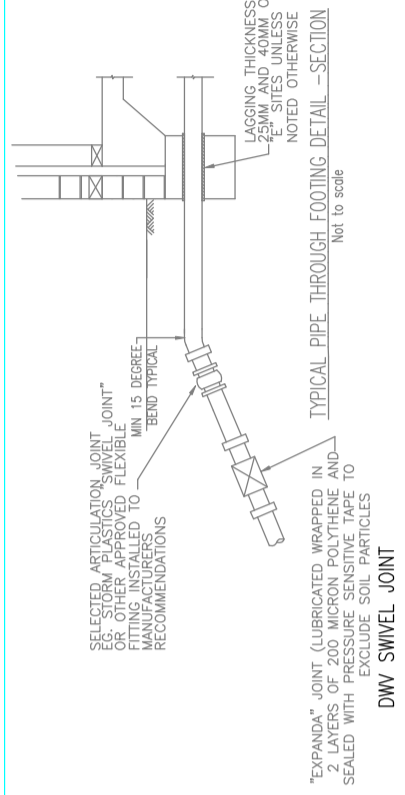
REQUIREMENTS FOR CLASS H & E SITES

- Joints in plumbing pipes within 3m of the house under construction shall be articulated to accommodate ground movements without leakage. Septic tanks require careful detailing.
- Closed cell polyethylene lagging shall be used around all stormwater & sewer pipe penetrations through external borings. The lagging shall be sleeved allowing equivalent movements may be used as an alternative. Lagging is not required around vertical penetrations through slabs.
- Connections of stormwater drains & waste drains shall include flexible connections.
- Plumbing & drainage under slab shall be avoided where practicable, with flexible joints at the exterior of the slab.
- Methods used should comply with local plumbing & drainage regulations.

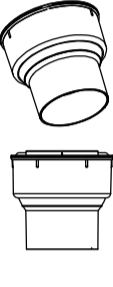


PART SHOWN IN ITS FULLY COMPRESSED POSITION. INSTALL AT MID POINT OF TRAVEL (384.3mm OVERALL LENGTH) EXPANSION IS 150mm

THIS SITE IS A 'H1' SLIGHTLY REACTIVE CLAY SITE WITH MANY EXPERIENCE HIGH GROUND MOVEMENT FROM MOISTURE CHARGES CHARACTERISTIC SURFACE MOVEMENT (Ys)mm 40<Ys<60 SO MIN 60mm OF EXPANSION.



"EXPANDA" JOINT (LUBRICATED, WRAPPED IN 2 LAYERS OF 200 MICRON POLYTHENE AND SEALED WITH PRESSURE SENSITIVE TAPE TO EXCLUDE SOIL PARTICLES TO DWV SWIVEL JOINT



Issue	Date	Amendment	Int.	App.
A	22/05/24	TENDER/APPROVAL ISSUES	C.S	C.S

COORDINATED REFERENCE DRAWINGS	SERVICE	DRAWING NUMBER	ISSUE	DATE
ARCH				
ARCH				

LOT AND RP No:
LOT 1 RP 166611
PARISH:
COUNTY:

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WATERWISE DESIGN
Hydraulic & Fire Services

Chris Searle 0414 953 963
Hydraulic Consultant BSA Lic. No: 886793

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PO Box 5485 Torquay QLD 4655
chris@waterwisedesign.com.au
waterwisedesign.com.au
(07) 4125 3510

TRK: 1 KENT ST
BIGGENDEN

OWNER:
KETT BUILD

Drawing Title:
**HYDRAULIC SERVICES
SANITARY PLUMBING &
DRAINAGE PLAN.**

North Point

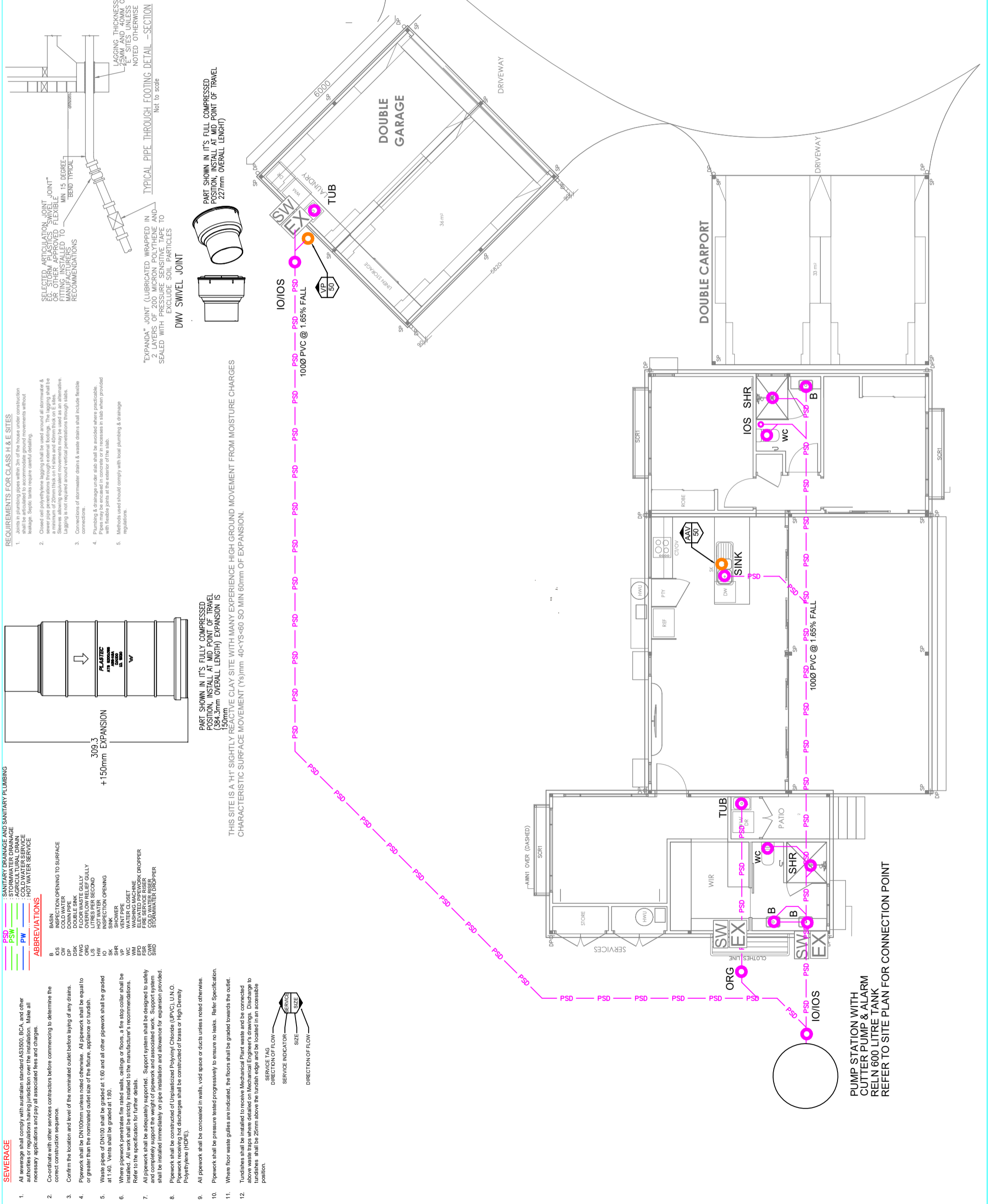
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Design: CHRIS SEARLE
Design Validated: CHRIS SEARLE
Drawn: RILEY MATHESON

Date: MAY 2024
Scale: (A3) 1:100
Sheet: 1 OF 3

Job No: 240522 - H - 001 - PR - A
Issue

0 10 20 30 40 50 ORIGINAL SIZE: A1



NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE

Issue	Date	Amendment	Int.	App.
A	22/05/24	TENDER/PROVAL ISSUES	C.S	C.S

SERVICE	DRAWING NUMBER	ISSUE	DATE
ARCH			
ARCH			

LOT AND RP No:
 LOT 1 RP 166611
 PARISH:
 COUNTY:

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 chris@waterwisedesign.com.au
 waterwisedesign.com.au
 (07) 4125 3510

Title: 1 KENT ST
 BIGGENDEN

Owner:
 KETT BUILD

Drawing Title:
 HYDRAULIC SERVICES
 WATER LAYOUT



North Point

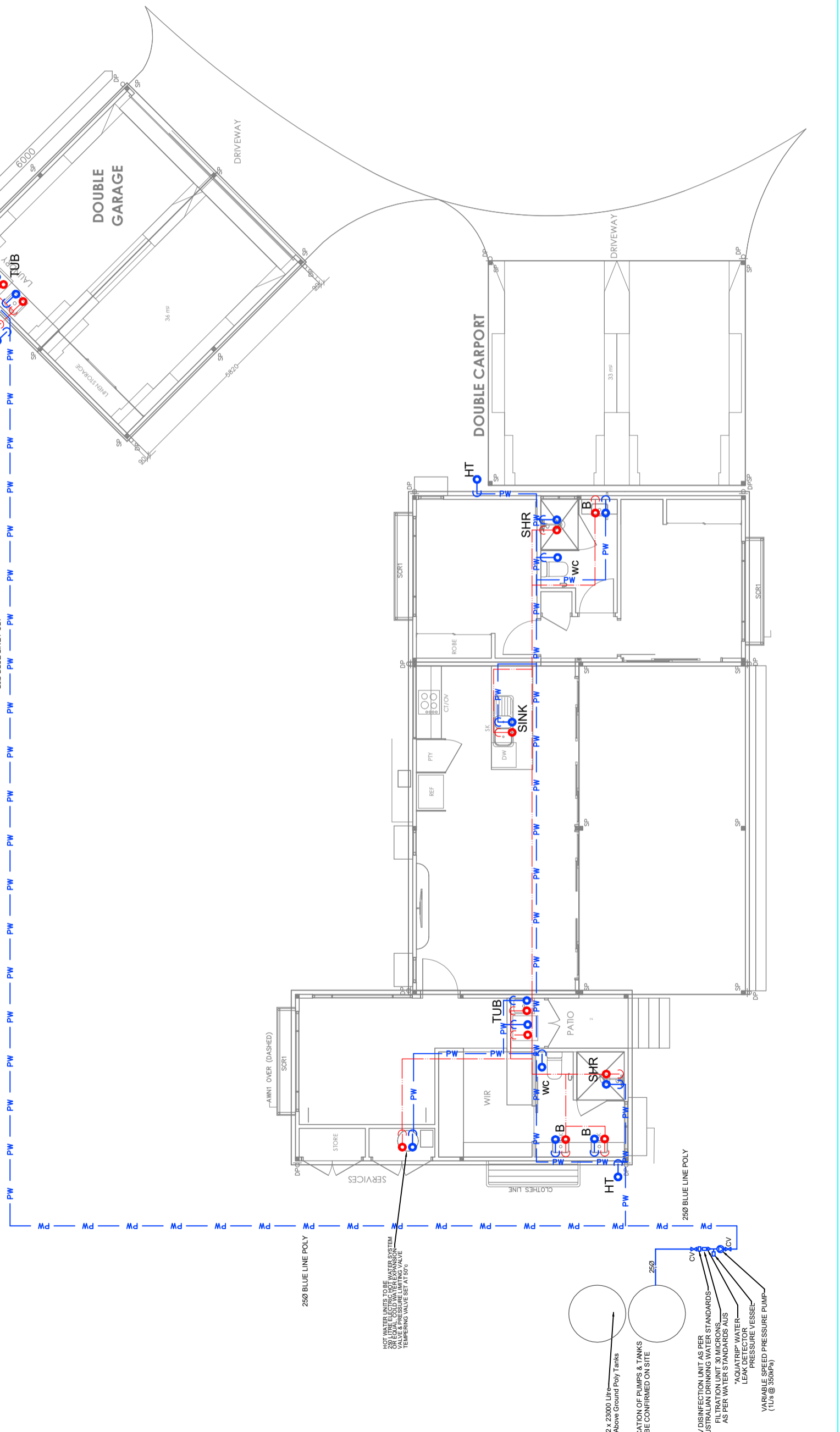
QBCC License No. 886793
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 Design Validated: CHRIS SEARLE
 Drawn: RILEY MATHESON

Date: MAY 2024
 Scale: (A3) 1:100
 Draw No: 2
 Sheet: 2
 OF: 3
 Issue

Job No:
240522 - H - 002 - PR - A

0 10 20 30 40 50
 ORIGINAL SIZE: A1

- All water supply shall comply with Australian Standard ASS500, the Building Code of Australia and other authorities or regulations having jurisdiction over the installation. Make all applications and pay all associated fees and charges.
- All copper pipework shall be Hard Drawn Copper tubing Type 'B' conforming to AS1432. Return Crosslinked Polyethylene tubing may be used as an alternative to copper tube except for any piping exposed externally, the last one metre at the hot water unit or penetration into the building. Equipment pipe sizes shall be used in accordance with ASS500.
- All pipework shall be concealed. Where pipework is exposed it shall be chrome plated. All pipework through fire rated walls or floors or ceiling shall be fire stopped.
- Pipe supports shall be installed progressively as pipes are installed. Support system shall be designed to safely and completely support the weight and thrust of pipework and associated work. Pipework shall be adequately anchored at trust points.
- All pipework shall be DN20mm with DN15mm branches to individual fixtures unless noted otherwise. Maximum length of DN15mm branches shall be 2.0 metres.
- Do not install pipework into sound insulated walls unless otherwise noted.
- Closet pan systems shall be provided with chrome plated isolation valves.
- Where pipework is in contact with dissimilar metals, the metals shall be insulated against bimetal corrosion.
- All isolation valves shall be positioned in approved accessible locations. Valves located in ducts or walls shall be positioned behind approved type access covers.
- Hose cocks shall be 600mm above finished surface level and shall be 20mm in size, and fitted with anti-vandal taps and approved vacuum breakers.
- Hot water installations to all personal hygiene fixtures shall be set at max. 50° Celsius.



NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE

Issue	Date	Amendment	Int.	App.
A	22/05/24	TENDER/APPROVAL ISSUES	CS	CS

COORDINATED REFERENCE DRAWINGS			
SERVICE	DRAWING NUMBER	ISSUE	DATE
ARCH			
ARCH			

LOT AND RP No:
LOT 1 RP 166611
PARISH: COUNTY:

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Title: **1 KENT ST
BIGGENDEN**

Owner:
KETT BUILD

Drawing Title:
**HYDRAULIC SERVICES
SITE PLAN**

North Point



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Design: CHRIS SEARLE
Design Validated: CHRIS SEARLE
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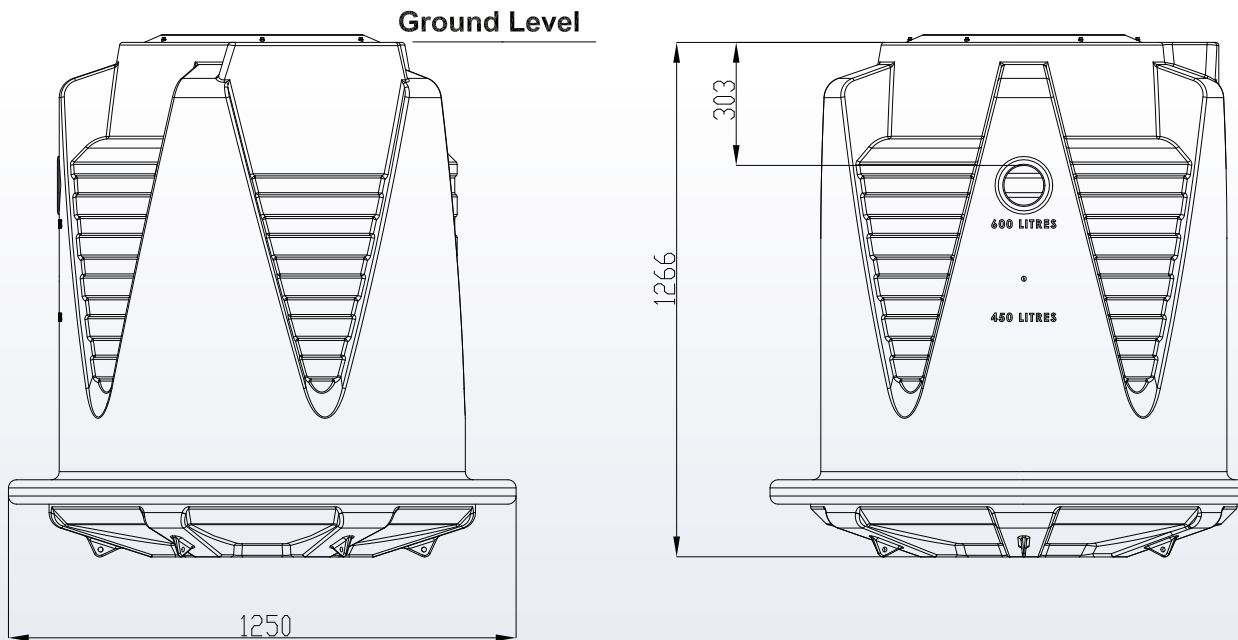
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Date: MAY 2024 Drawn No: Stage: Issue

240522 - H - 003 - PR - A

0 10 20 30 40 50 ORIGINAL SIZE: A1

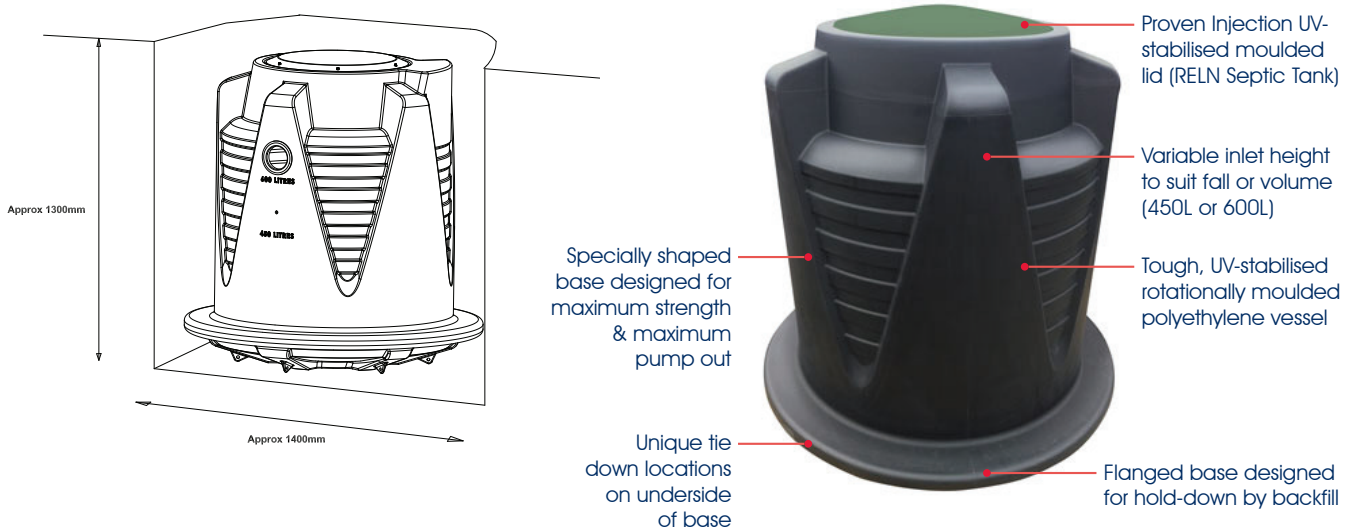


RELN
>blackwater



RELN 600L Pumpwell

- Pumpwell is a housing for black and greywater pumps
- Designed to pump wastewater in domestic systems where flow in the pipe is required to be pumped to a higher location
- 600L capacity (minimum requirement for NSW)
- Approved to requirements of Australian Standard AS/NZS1546.1



F Foundation **L** Landscape **Y** Yard

Blackwater Products

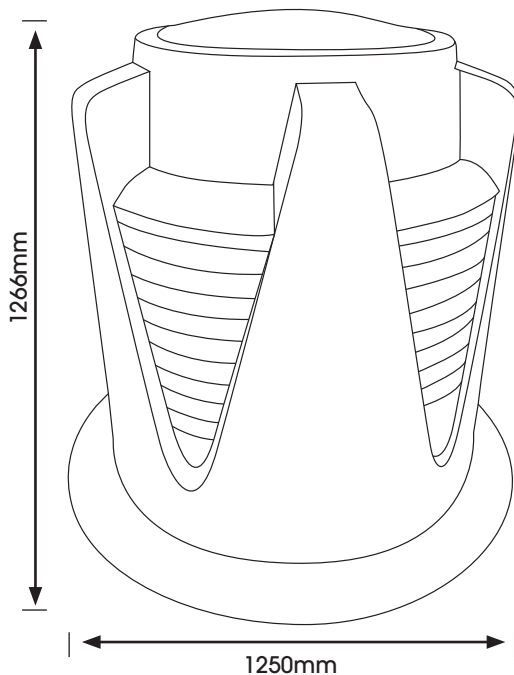
RELN.com.au



Pumpwell

RELN Pumpwell is a housing for Black and Grey water pumps, designed to pump wastewater in domestic systems where the flow in the pipe is required to be pumped to a higher location.

> Pumpwell (1266mm height x 1250mm diameter)



Pump Well

Pump Well - 600 Litre

Product Code: 000836

Weight: 45kg



9 319022 00836 1

- 600L Capacity (Minimum requirement for NSW)
- Approved to requirements of Australian Standard AS/NZS1546.1
- Tough UV stabilised rotationally moulded polyethylene vessel
- Proven Injection UV stabilised moulded lid (RELN Septic Tank)
- Size 1266 mm high x 1250mm diameter
- Easy 100mm PVC Sewer pipe connection via Pipe seal Gasket
- Variable inlet height to suit fall or volume required (between 450L and 600L). Simply drill to desired height in marked positions
- Flanged based designed for hold-down by backfill
- Unique tie down locations on underside of base suit attachment with reo bar set in concrete base for higher water table areas
- Specially shaped base designed for maximum strength and maximum pump out

Range: Base, Manhole Cover, Screws 10g Self Tapping, Uni-Seal gasket ring

Display: Brochure available.

> Frequently Asked Questions

Q1. What size hole do I need to dig to fit my Pumpwell?

A. Approximately 1400mm width by 1300mm height.

Q2. Do you bury the tank lid?

A. No. The manhole cover must be finished at normal ground level for ongoing Pumpwell inspection and maintenance.

Q3. Where can I place my Pumpwell?

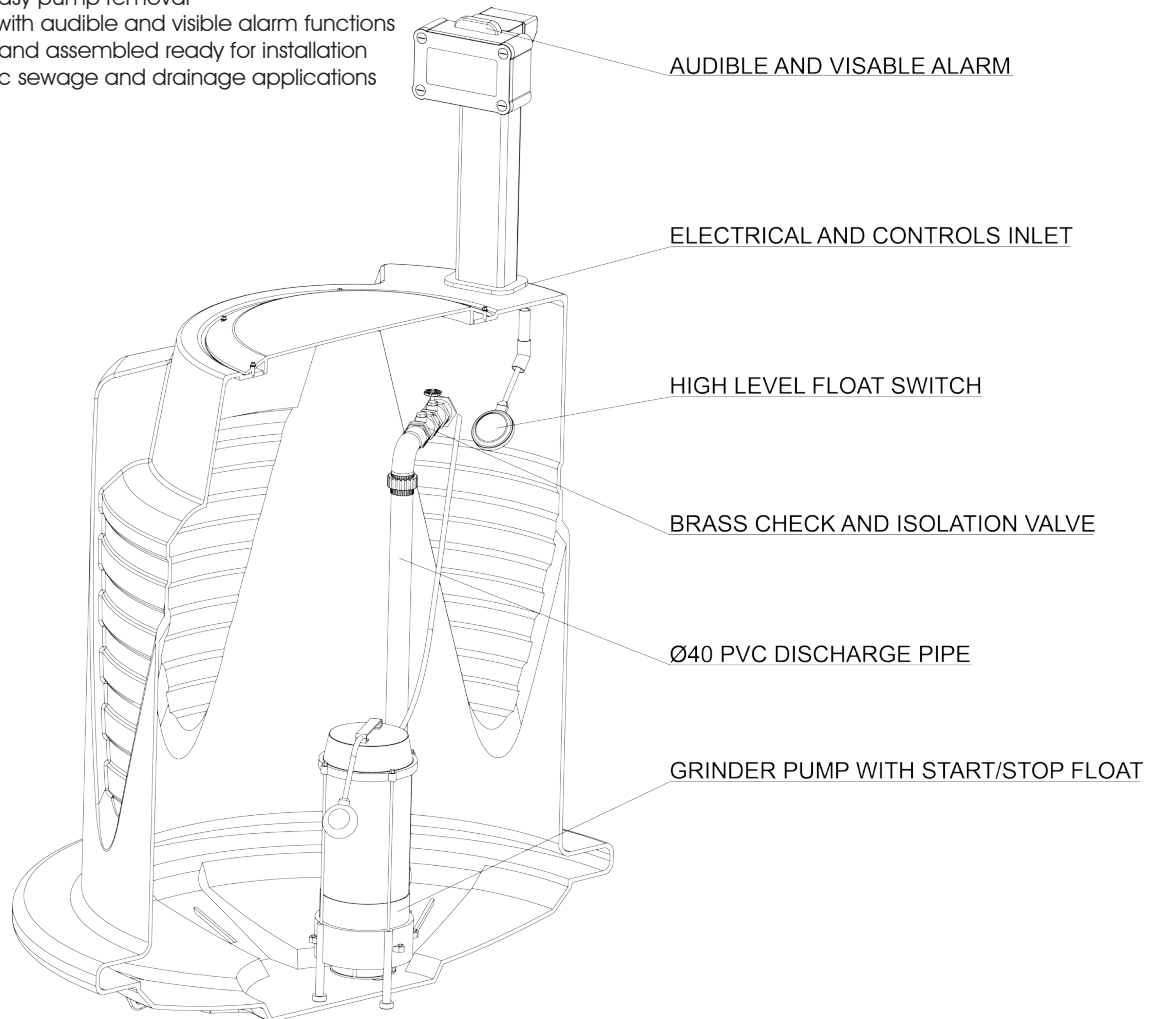
A. Please contact your local council for placement advice. Pumpwell should never be placed near trafficable areas, building foundations, farms animals or livestock.



Pump Station

RELN Pump Station tanks are designed to take Black and Greywater tanks with flexibility to the next level.

- Heavy Duty Roto-molded 600L polyethylene
- Bianco B120GS2 grinder pump with automatic control
- Complete with 40mm discharge piping, valves and fittings including brass gate and swing check valve and barrel union for easy pump removal
- High level alarm with audible and visible alarm functions
- Australian made and assembled ready for installation
- Ideal for Domestic sewage and drainage applications



**Pump Station Grey Water
- 600 Litre**

Product Code: WESPPS-GW

Weight: 95kg



**Pump Station Sewage
- 600 Litre**

Product Code: WESPPS-S

Weight: 95kg

This form is to be used by an appointed competent person for the purposes of section 10 of the *Building Act 1975* and sections 73 and 77 of the Building Regulation 2021 (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.

Additional explanatory information is included in the Appendix at the end of this form.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address	1 Kent St		
	Suburb/locality	Biggenden	
State	QLD	Postcode	
Lot and plan details (<i>attach list if necessary</i>)			
Lot 1 RP 166611			
Local government area the land is situated in			
North Burnett Regional Council			

2. Description of aspect/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Sanitary Drainage plan Water layout
--

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.

AS 3500-2021
AS 2870-2011

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

240522-H-001-PR-A,H-002-A,H-003-A

5. Building certifier reference number and building development approval number

Building certifier reference number		Building development application number (if available)	
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6. Appointed competent person details

Under Part 6 of the Building Regulation a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.

Name (in full)	Christopher Harold Searle		
Company name (if applicable)	Water Wise Design Hydraulic & Fire Service Consulting Pty Ltd		
Contact person			
Business phone number		Mobile	0414953963
Email address	chris@waterwisedesign.com.au		
Postal address	Po Box 5485 Torquay		
		Suburb/locality	
State	QLD	Postcode	4655
Licence class or registration type (if applicable)	Fire Protection - Water-Based Fire System Stream Occupational – Certify & Hydraulic Services Design		

Licence or registration number (if applicable)	886793
---	--------

9. Signature of appointed competent person

This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.

Signature		Date	22/05/2024
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LOCAL GOVERNMENT USE ONLY

Date received	Click or tap to enter a date.	Reference number/s	
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Appendix – explanatory information

IMPORTANT NOTE: it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

Who can complete this certificate? (sections 10 of the *Building Act 1975* (Building Act) and 73 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design – specifications) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

For a competent person to meet the regulation requirements (section 77 of the BR 2021) they must substantially complete all sections of this form, including information, such as the design of a particular material, system, method of building or that a building element complies with the Building Code of Australia or a provision of the Queensland Development Code. It is also important that the details of the relevant reference documents are included, for example, the applicable Australian Standards or other technical provisions that may be applicable to the subject work.

What is the purpose of this form? (section 10 of the *Building Act 1975*)

The information in this form informs the building certifier's decision making when they are assessing a building development application and issuing the building development approval for the building work the subject of the certificate (form).

When is this form not required?

The assessment of some building applications will be entirely within the expertise of the relevant building certifier and therefore they may not seek the help of a competent person. In these instances, this form is not required.

Is a manufacturer or supplier required under the BR 2021 to complete and sign this Form 15, if requested?

No. A manufacturer or supplier of building materials is not required to complete and give this form or any aspect and inspection certificates if requested by a construction contractor, builder, appointed competent person, or a building certifier.

However, a manufacturer or supplier may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a manufacturers statement for an aspect or material that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

What if there is not enough space for all the supporting material/documents?

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. **Note:** that editing the form in the Microsoft Word version may cause the relevant boxes to expand and

increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

Appointed competent person (design or specification) – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of inspection help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day. The building certifier can also decide an individual is a competent person (design-specification) and a competent person (inspection) at the same time or for the same systems or components of the work.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

PRIVACY NOTICE

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

SWIVEL JOINT

Our swivel and expansion joints are specifically designed for Australia's ever changing soil conditions. Reactive soils are prone to expansion and contraction due to variations of moisture content. These soils undergo volume change and can be destructive.

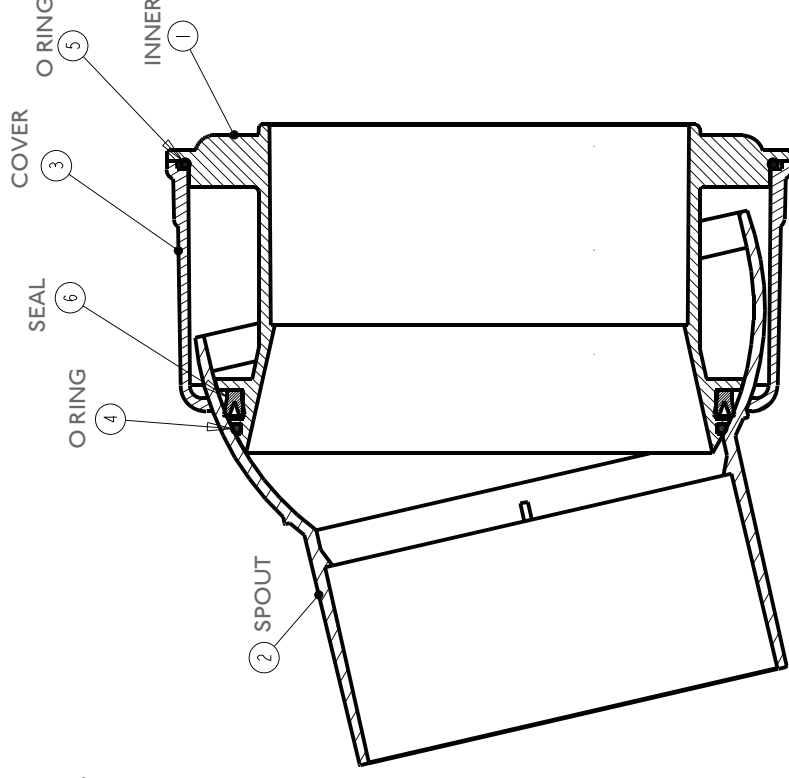
Incorporating both our swivel and expansion joints into your plumbing and drainage installation can assist in offsetting much of the associated problems when working with reactive soils.

- Independently air tested in excess of 200kps.
- Does not require the use of toxic root inhibitor tape. Compact in size.
- Can rotate 20 degrees from its axis giving more flexibility.

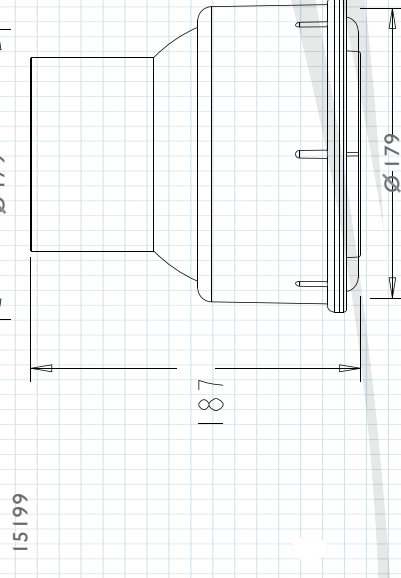
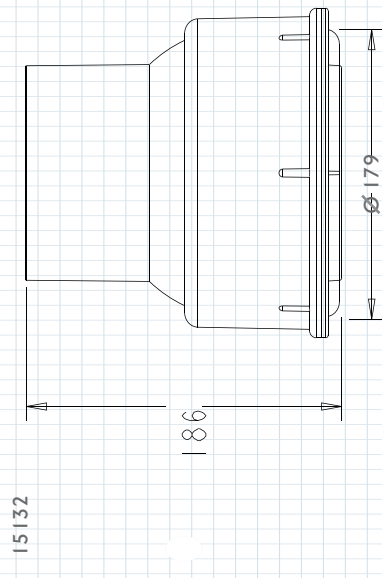
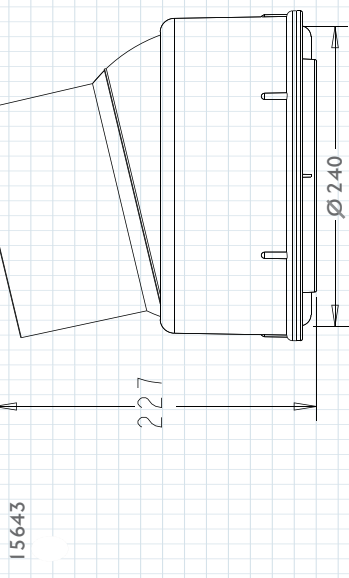


ID	GRATE	GRATE
15643	150	FxF 6
15132	100	FxF 12
15199	100	MxF 12

NOTE: THESE PRODUCTS ARE PACKAGED INTO 90UM PLASTIC BAGS. THESE BAGS MAY BE USED AS WRAPPING IF REQUIRED.



MEASUREMENTS (MM):



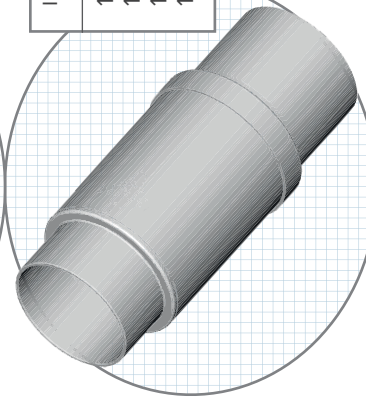
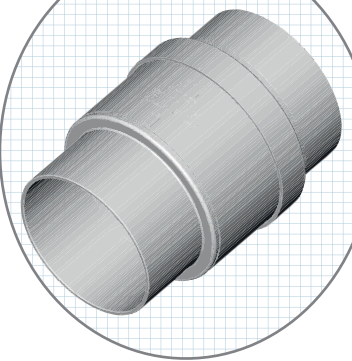
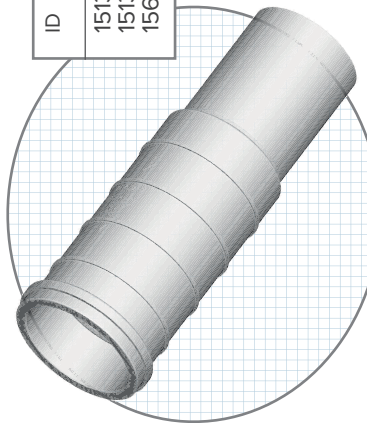


DWW Expansion Joints

with 60mm, 100mm, 150mm & 200mm Expansion



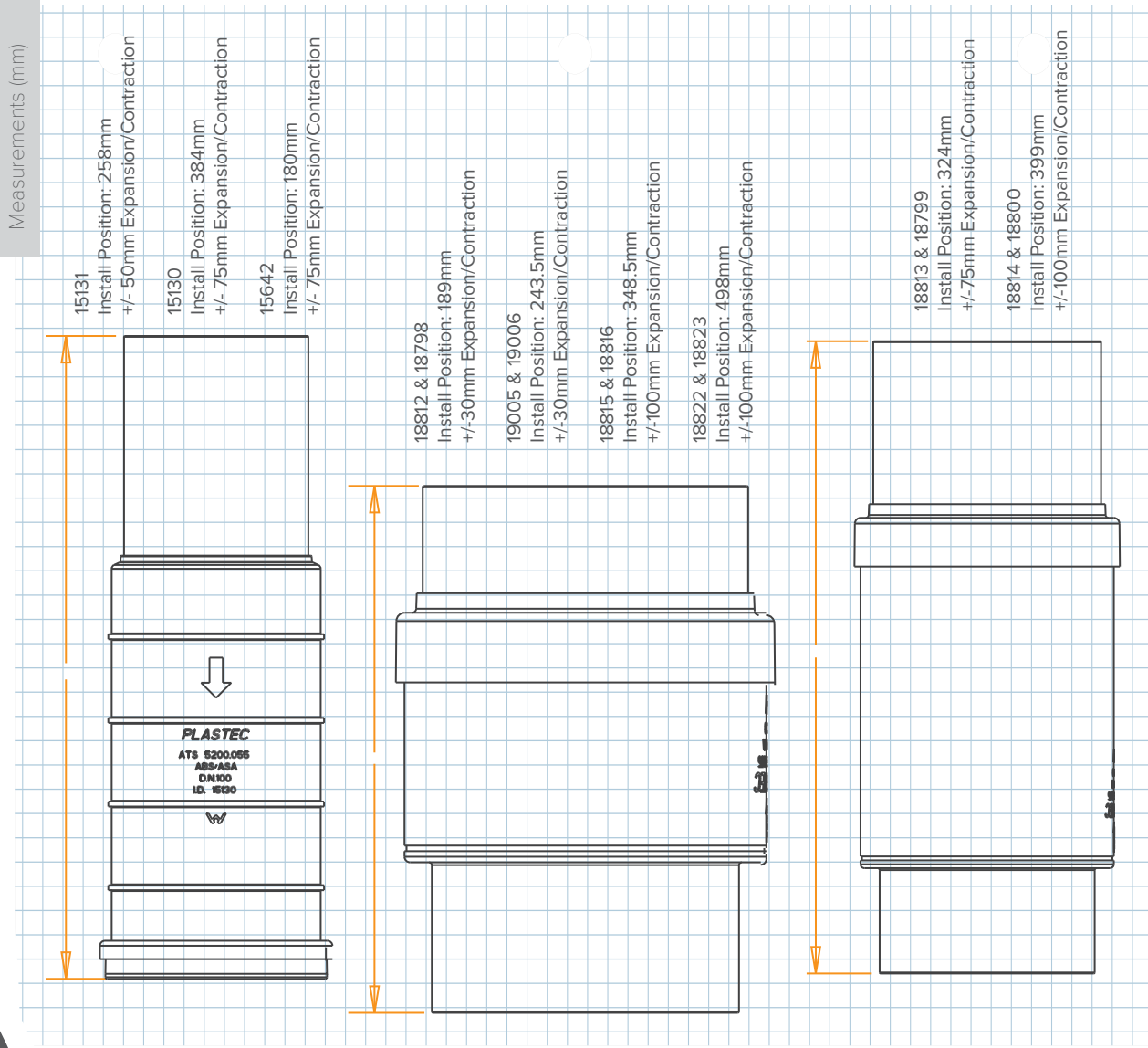
- Ideal for pipe repair work.
- Water tight seal.
- Used in conjunction with Swivel Joint for reactive soils.



ID	Ø	INLET	OUTLET	MAX EXPAN.
15131	90	Pipe Size	Socket	100
15130	100	Pipe Size	Socket	150
15642	150	Pipe Size	Socket	200

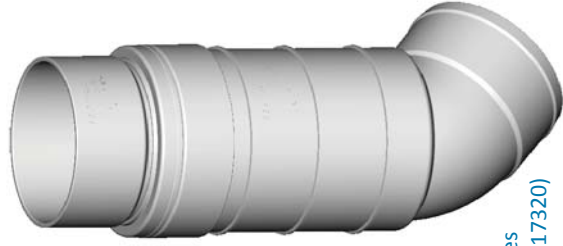
ID	Ø	INLET	OUTLET	MAX EXPAN.
18812	100	Pipe Size	Socket	60
18798	100	Socket	Socket	60
19005	150	Socket	Socket	60
19006	150	Pipe Size	Socket	60
18815	150	Socket	Socket	200
18816	150	Pipe Size	Socket	200
18822	225	Socket	Socket	200
18823	225	Pipe Size	Socket	200

ID	Ø	INLET	OUTLET	MAX EXPAN.
18813	100	Pipe Size	Socket	150
18799	100	Socket	Socket	150
18814	100	Pipe Size	Socket	200
18800	100	Socket	Socket	200

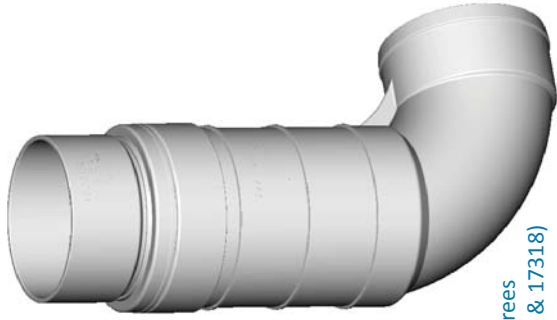


DWV EXPANSION ELBOWS 45 & 90 DEGREES


- Suitable for use in M, H1, H2, E and P class soil sites.
- Ideal for installations where lack of height could be an issue (eg. waffle slab and shallow drains).
- Ideal below inspection openings.
- Can be installed either vertically or horizontally.
- Comes packaged in a non-biodegradable 90um or 100um plastic bag which can be used as installation wrapping if required.
- To initiate movement, this joint must be 'cracked' by pushing downwards against a hard surface until joint is closed.
- Install and test to AS3500.

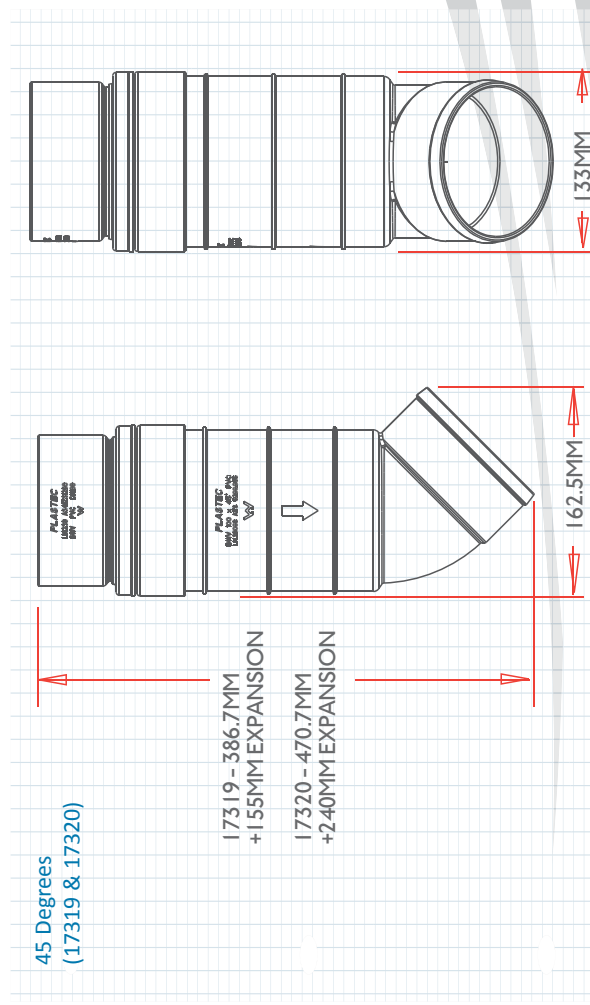
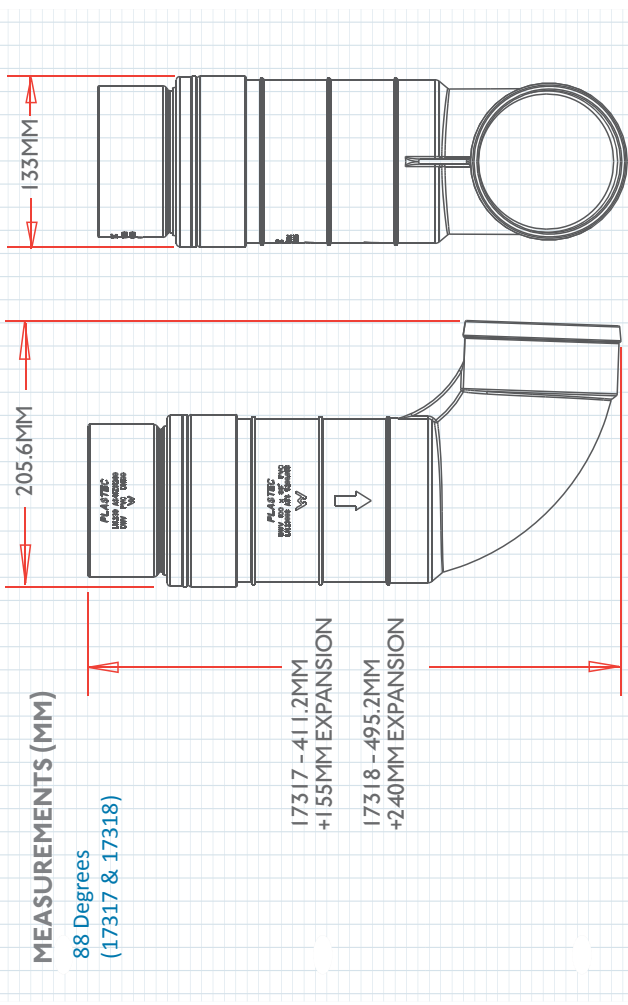


45 Degrees
(17319 & 17320)



88 Degrees
(17317 & 17318)

ID	Ø _{nom}	DEGREE	EXPANSION	
17317	100	88	155	10
17318	100	88	240	9
17319	100	45	155	12
17320	100	45	240	11



NOTE: WARRANTY EXTENDS TO REPLACEMENT OF PRODUCT ONLY, PROVIDED PRODUCT HAS BEEN INSTALLED AS PER MANUFACTURER'S GUIDELINES.

ATTACHMENT B
Plumbing Application Form 1



GENERAL NOTES: This form is to be used for the purposes of sections 44(1)(a) and 52(2) of the Plumbing and Drainage Regulation 2019 (PDR). Completion of all applicable sections is mandatory.

1. Description of land

The description must identify all land the subject of the application. The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

Street address *(include number, street, suburb/locality and postcode)*

1 Kent St Biggenden

Lot and plan:

Lot 1 RP 166611

Shop/tenancy number

(if applicable)

Storey/level

(if applicable)

Local government area

North Burnett

2. Permit application

Subject to section 66(1) of the PDA, a person must not carry out permit work unless the person has a compliance permit for the work and complies with any conditions of the permit.

Is this application for a new building? Yes No

Is this application for work to an existing building? Yes No

Has distributor-retailer approval been granted? *(if applicable)* Yes No

Is a copy of the connection approval attached? *(if applicable)* Yes No

Sewered or **Unsewered**

Provide details of the proposed plumbing work:

Class one

3. Classification of buildings and structures

Indicate the class of buildings and/or structures as set out under the National Construction Code building classifications. For example, a house (class 1a), an apartment (class 2) or a domestic shed (class 10a).

Class of building/s (if known)

Class 1a or 10a or

Class 1b, 2 - 9

Provide description (purpose) of the proposed building

Class one

Note - The description must be sufficient to identify the building/s: a single dwelling, bakery, distillery, mechanical workshop etc.

4. Application type

If this application is for a new class 1a or 10a building and you have answered yes to all questions in box A or B in this section, this application may be fast tracked.

Local governments may opt out or include extra types of permit work under the fast track application process

Check with the relevant local government to see if any changes have been made.

Box A

Each new building directly and separately connects to the reticulated water supply system and sewerage system Yes No

A trade waste approval is not required for this property/building Yes No

This application does not include an on-site treatment facility Yes No

Box B

This work is covered by a local government fast track declaration Yes No

*Note - Class 1a and 10a properties or buildings with an on-site sewerage facility, trade waste connection or combined or community sanitary drainage are **excluded** from the fast track process and must be assessed as a standard application as must all other properties/buildings (class 2 – 9).*

<p>5. Soil classification</p> <p>A copy of the soil classification report must be supplied where the work involves sanitary drainage.</p> <p>For classes H, E and P a copy of the articulation report must also be supplied.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;"><input type="checkbox"/> No sanitary drainage</td> <td style="width: 25%;"><input type="checkbox"/> Class A</td> <td style="width: 25%;"><input type="checkbox"/> Class S</td> <td style="width: 25%;"><input type="checkbox"/> Class M/MD</td> </tr> <tr> <td><input checked="" type="checkbox"/> Class H1/H1-D</td> <td><input type="checkbox"/> Class H2/H2-D</td> <td><input type="checkbox"/> Class E/EE-D</td> <td><input type="checkbox"/> Class P</td> </tr> </table> <p>A copy of the soil classification report is attached x Yes <input type="checkbox"/> N/A</p> <p>A copy of the articulation report is attached (for classes H,E&P) x Yes <input type="checkbox"/> N/A</p>	<input type="checkbox"/> No sanitary drainage	<input type="checkbox"/> Class A	<input type="checkbox"/> Class S	<input type="checkbox"/> Class M/MD	<input checked="" type="checkbox"/> Class H1/H1-D	<input type="checkbox"/> Class H2/H2-D	<input type="checkbox"/> Class E/EE-D	<input type="checkbox"/> Class P				
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<input checked="" type="checkbox"/> Class H1/H1-D	<input type="checkbox"/> Class H2/H2-D	<input type="checkbox"/> Class E/EE-D	<input type="checkbox"/> Class P										
<p>6. Fixtures to be installed</p>	<p>Indicate the number of fixtures to be installed:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">sinks: 1</td> <td style="width: 33%;">basins: 3</td> <td style="width: 33%;">urinals:</td> </tr> <tr> <td>baths:</td> <td>W.C.s: 2</td> <td>showers: 2</td> </tr> <tr> <td>laundry tubs: 2</td> <td>other:</td> <td></td> </tr> <tr> <td colspan="2"></td> <td style="text-align: right;">Total number of fixtures: 10</td> </tr> </table>	sinks: 1	basins: 3	urinals:	baths:	W.C.s: 2	showers: 2	laundry tubs: 2	other:				Total number of fixtures: 10
sinks: 1	basins: 3	urinals:											
baths:	W.C.s: 2	showers: 2											
laundry tubs: 2	other:												
		Total number of fixtures: 10											
<p>7. Water supply</p> <p>Examples of supply details may include dual reticulation or recycled water.</p>	<p>If the application is for a new connection, or disconnection of an existing water service, complete the following:</p> <p>(a) purpose of the water service (tick applicable boxes)</p> <p><input type="checkbox"/> domestic <input type="checkbox"/> industrial <input type="checkbox"/> commercial <input type="checkbox"/> fire</p> <p>(b) nature of the work (tick applicable boxes)</p> <p><input type="checkbox"/> new <input type="checkbox"/> alteration <input type="checkbox"/> disconnection</p> <p><i>Note - SEQ local governments cannot grant a permit unless the distributor-retailer has approved the associated connection, connection change or disconnection to its water infrastructure; or it is a class of work that does not require distributor-retailer approval (Plumbing and Drainage Regulation 2019, section 44).</i></p>												
<p>8. Disposal of wastewater in unsewered area</p> <p>A Treatment Plant Approval (TPA) number/Chief Executive Approval (CEA) or Environmentally Relevant Activity (ERA) number must be included for any on-site sewerage treatment plant or greywater treatment plant.</p> <p>A copy of the site and soil evaluation report must be attached.</p>	<p>Description of work</p> <p><input type="checkbox"/> New facility <input type="checkbox"/> Replace existing facility <input type="checkbox"/> Connect to existing</p> <p><input type="checkbox"/> The treatment plant is for testing purposes</p> <p>Type of treatment plant</p> <p><input type="checkbox"/> Secondary on-site sewerage treatment plant <input type="checkbox"/> Greywater treatment plant <input type="checkbox"/> Greywater diversion device</p> <p><input type="checkbox"/> Septic tank <input type="checkbox"/> Holding tank <input type="checkbox"/> Composting toilet</p> <p>Brand: _____ Model: _____</p> <p>TPA/CEA Number _____ ERA Number (if applicable) _____ <small>(Treatment Plant Approval or Chief Executive Approval Number) (Environmentally Relevant Activity number)</small></p> <p>Additional information</p> <p>Total number of bedrooms in all dwellings to be serviced by the facility _____</p> <p>Total wastewater flow per day to be serviced by the facility _____ L/day</p> <p>A copy of the site and soil evaluation report is attached <input type="checkbox"/> Yes</p> <p>Comments (i.e. conversion from septic to treatment plant.)</p> <div style="border: 1px solid black; height: 40px; width: 100%;"></div>												



9. Owner details	Owners name: <input type="text" value="Collen & Jim Cunliffe"/> Phone number: <input type="text" value="0741271301"/> Postal address: <input type="text" value="1 Kent St"/> Email address of owner: <input type="text" value="biggendenmotel@bigpond.com"/>
10. Applicant details The applicant need not be the owner of the land. If lodging this application, the applicant is responsible for ensuring the information provided is correct and that they are authorised to manage the application on the owner's behalf.	Company name in full: <input type="text" value="Water Wise Design"/> Contact person: <input type="text" value="Chris Searle"/> Phone number: <input type="text"/> Mobile: <input type="text" value="0414953963"/> Email address of applicant: <input type="text" value="chris@waterwisedesign.com.au"/>
11. Declaration The local government will rely on the owner applicant information when assessing the application.	I hereby state that that the information provided in this form is a true and accurate record. Signature <input type="text" value="Chris Searle"/> Date <input type="text" value="22/05/24"/>
PRIVACY NOTICE: The information on this form is collected as required under the <i>Plumbing and Drainage Act 2018</i> (PDA) by local governments. This information may be stored in the local government database and will be used for purposes related to deciding an application and monitoring compliance under the PDA. Your personal information will be disclosed to the financial institution which handles the local government's financial transactions and may be disclosed to other local government agencies, local government authorities, the Queensland Building and Construction Commission and third parties for purposes relating to administering and monitoring compliance with the PDA. Personal information will otherwise only be disclosed to third parties with your consent or in accordance with the <i>Information Privacy Act 2009</i> . RTI: The information collected on this form will be retained as required by the <i>Public Records Act 2002</i> and other relevant Acts and regulations and is subject to the Right to Information regime established by the <i>Right to Information Act 2009</i> .	

OFFICE USE ONLY

FEE (\$)	DATE RECEIVED	RECEIVING OFFICER'S NAME/S	REFERENCE NUMBER/S
<input type="checkbox"/> Fast-track application or <input type="checkbox"/> Standard application			

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Queensland Government