

# DA Form 2 – Building work details

Approved form (version 1.1 effective 22 JUNE 2018) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application involving **building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development**, use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

**Note:** All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

## PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Dean Walters
Contact name (only applicable for companies)	
Postal address (PO Box or street address)	P.O. box 255
Suburb	Gayndah
State	Qld
Postcode	4625
Country	AUS
Contact number	
Email address (non-mandatory)	gayndah@rfsteelbuildings.com.au
Mobile number (non-mandatory)	0429 416 110
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	

## PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
<b>Note:</b> Provide details below and attach a site plan for any or all premises part of the development application. For further information, see <a href="#">DA Form Guide: Relevant plans</a> .	
2.1) Street address and lot on plan	
<input checked="" type="checkbox"/> Street address AND lot on plan (all lots must be listed), or	
<input type="checkbox"/> Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	59	Meson Street	Gayndah
Postcode	Lot No.6	Plan Type and Number RP 159354	Local Government Area(s) NBRC

## PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- Yes – proceed to 8)  
 No

5) Identify the assessment manager(s) who will be assessing this development application

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- Yes – a copy of the decision notice is attached to this development application  
 The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached  
 No

7) Information request under Part 3 of the DA Rules

- I agree to receive an information request if determined necessary for this development application  
 I do not agree to accept an information request for this development application

**Note:** By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- Yes – provide details below or include details in a schedule to this development application  
 No

List of approval/development application	Reference	Date	Assessment manager
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			
<input type="checkbox"/> Approval <input type="checkbox"/> Development application			

9) Has the portable long service leave levy been paid?

- Yes – the yellow local government/private certifier's copy of the receipted QLeave form is attached to this development application  
 No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid  
 Not applicable

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- Yes – show cause or enforcement notice is attached  
 No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at [www.des.qld.gov.au](http://www.des.qld.gov.au) about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:

Place ID:

## PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- Yes – the *Referral checklist for building work* is attached to this development application  
 No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- Yes – referral response(s) received and listed below are attached to this development application  
 No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (*if applicable*)

## PART 5 – BUILDING WORK DETAILS

14) Owner's details

- Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (*individual or company full name*)

Doug Driver

Contact name (*applicable for companies*)

Postal address (*P.O. Box or street address*)

59 Meson Street

Suburb

Gayndah

State

QLD

Postcode

4625

Contact number

Email address (*non-mandatory*)

doughydriver@gmail.com

Mobile number (*non-mandatory*)

0428387845

Fax number (*non-mandatory*)

### 15) Builder's details

Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) <i>(individual or company full name)</i>	Lincoln Wade Driver
Contact name <i>(applicable for companies)</i>	
QBCC licence or owner – builder number	1284015
Postal address <i>(P.O. Box or street address)</i>	2 Downing Street
Suburb	Gayndah
State	QLD
Postcode	4625
Contact number	0428 408 401
Email address <i>(non-mandatory)</i>	admin@driversconcrete.com
Mobile number <i>(non-mandatory)</i>	
Fax number <i>(non-mandatory)</i>	

### 16) Provide details about the proposed building work

a) What type of approval is being sought?

- Development permit  
 Preliminary approval

b) What is the level of assessment?

- Code assessment  
 Impact assessment *(requires public notification)*

c) Nature of the proposed building work (tick all applicable boxes)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> New building or structure                               | <input type="checkbox"/> Repairs, alterations or additions |
| <input type="checkbox"/> Change of building classification <i>(involving building work)</i> | <input type="checkbox"/> Swimming pool and/or pool fence   |
| <input type="checkbox"/> Demolition   | <input type="checkbox"/> Relocation or removal             |

d) Provide a description of the work below or in an attached schedule.

e) Proposed construction materials

External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input checked="" type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input checked="" type="checkbox"/> Steel	<input type="checkbox"/> Other

f) Existing building use/classification? *(if applicable)*

g) New building use/classification? *(if applicable)*

10a

h) Relevant plans

**Note:** Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

Relevant plans of the proposed works are attached to the development application

17) What is the monetary value of the proposed building work? **\$10,229.41**

18) Has Queensland Home Warranty Scheme Insurance been paid?

Yes – provide details below

No

Amount paid	Date paid (dd/mm/yy)	Reference number
\$264.80	13/03/2024	014748340

## PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist

The relevant parts of *Form 2 – Building work details* have been completed  Yes

This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed *Form 1 – Development application details*  Yes  
 Not applicable

Relevant plans of the development are attached to this development application  
*Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans.*  Yes

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued  Yes  
 Not applicable

20) Applicant declaration

By making this development application, I declare that all information in this development application is true and correct

Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

*Note: It is unlawful to intentionally provide false or misleading information.*

**Privacy** – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application.

All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, *Planning Regulation 2017* and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the *Planning Regulation 2017*, and the access rules made under the *Planning Act 2016* and *Planning Regulation 2017*; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

## PART 7 – FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received:  Reference numbers:

For completion by the building certifier		
Classification(s) of approved building work		
Name	QBCC Certification Licence number	QBCC Insurance receipt number

Notification of engagement of alternate chosen assessment manager	
Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government			
Confirm proposed construction materials:			
External walls	<input type="checkbox"/> Double brick	<input type="checkbox"/> Steel	<input type="checkbox"/> Curtain glass
	<input type="checkbox"/> Brick veneer	<input type="checkbox"/> Timber	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Stone/concrete	<input type="checkbox"/> Fibre cement	<input type="checkbox"/> Other
Frame	<input type="checkbox"/> Timber	<input type="checkbox"/> Steel	<input type="checkbox"/> Aluminium
	<input type="checkbox"/> Other		
Floor	<input type="checkbox"/> Concrete	<input type="checkbox"/> Timber	<input type="checkbox"/> Other
Roof covering	<input type="checkbox"/> Slate/concrete	<input type="checkbox"/> Tiles	<input type="checkbox"/> Fibre cement
	<input type="checkbox"/> Aluminium	<input type="checkbox"/> Steel	<input type="checkbox"/> Other

Additional building details required for the Australian Bureau of Statistics			
Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m <sup>2</sup> )		Floor area (m <sup>2</sup> )	



This form is the approved form that must be used in accordance with section 10 of the *Building Act 1975* and sections 73 and 77 of the *Building Regulation 2021* (Design-specification certificate) stating that an aspect of building work or specification will, if installed or carried out as stated in this form, comply with the building assessment provisions.


Additional explanatory information is included in the Appendix at the end of this form.

<p><b>1. Property description</b></p> <p>This section need only be completed if details of street address and property description are applicable.</p> <p>E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.</p> <p>Where applicable, the description must identify all land the subject of the application.</p> <p>The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.</p> <p>If the plan is not registered by title, provide previous lot and plan details.</p>	<p>Street address (include number, street, suburb/locality and postcode)</p> <p><u>50 MASON STREET</u> <u>GAYNDALL</u> State <u>QLD</u> Postcode <u>4015</u></p> <p>Lot and plan details (attach list if necessary)</p> <p><u>LOT 6 RP 150354</u></p> <p>Local government area the land is situated in</p> <p><u>NBDE</u></p>																					
<p><b>2. Description of aspect/s certified</b></p> <p>Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.</p>	<p><u>4.0m SPAN x 8.5m WIS x 4.1m MAX HEIGHT</u> <u>SKILLION ROOF CARPORT AWNING</u> <u>CLASS 10A STRUCTURE</u> <u>FRAMING</u> <u>CONNECTIONS</u> <u>FOUNDATION / PILES</u> <u>SITE BELONG BI TERRAIN CAT 2.5</u></p>																					
<p><b>3. Basis of certification</b></p> <p>Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications were relied upon.</p>	<table border="0"> <tr> <td><u>AS 170.0 - 2002</u></td> <td><u>AS 410 - 2010</u></td> <td><u>AS 3623 - 1993</u></td> </tr> <tr> <td><u>AS 170.1 - 2002</u></td> <td><u>AS 430 - 2018</u></td> <td><u>AS 1289 - 2014</u></td> </tr> <tr> <td><u>AS 170.2 - 2002</u></td> <td><u>AS 1562 - 1998</u></td> <td><u>AS 3700 - 2018</u></td> </tr> <tr> <td><u>AS 170.3 - 2003</u></td> <td><u>AS 4678 - 2002</u></td> <td><u>AS 4773 - 2015</u></td> </tr> <tr> <td><u>AS 170.4 - 2007</u></td> <td><u>AS 1684 - 2020</u></td> <td><u>AS 2700 1,2,3 - 2001</u></td> </tr> <tr> <td><u>AS 3600 - 2018</u></td> <td><u>AS 1730.1 - 2010</u></td> <td></td> </tr> <tr> <td><u>AS 2570 - 2011</u></td> <td><u>AS 4055 - 2017</u></td> <td><u>BCA/NCC 2012</u></td> </tr> </table>	<u>AS 170.0 - 2002</u>	<u>AS 410 - 2010</u>	<u>AS 3623 - 1993</u>	<u>AS 170.1 - 2002</u>	<u>AS 430 - 2018</u>	<u>AS 1289 - 2014</u>	<u>AS 170.2 - 2002</u>	<u>AS 1562 - 1998</u>	<u>AS 3700 - 2018</u>	<u>AS 170.3 - 2003</u>	<u>AS 4678 - 2002</u>	<u>AS 4773 - 2015</u>	<u>AS 170.4 - 2007</u>	<u>AS 1684 - 2020</u>	<u>AS 2700 1,2,3 - 2001</u>	<u>AS 3600 - 2018</u>	<u>AS 1730.1 - 2010</u>		<u>AS 2570 - 2011</u>	<u>AS 4055 - 2017</u>	<u>BCA/NCC 2012</u>
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<p><b>4. Reference documentation</b></p> <p>Clearly identify any relevant documentation, e.g. numbered structural engineering plans.</p>	<p><b>ATTACHED PLANS &amp; DETAILS</b></p> <p>J 2710 - 10 SHEETS DATED 6.3.24</p> <p>SKILCARTPORT 01 - 1 SHEET DATED 1.7.17</p> <p>PREL 1010 - 2 SHEETS SIGNED 20.3.24</p>
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<p><b>5. Building certifier reference number and building development application number</b></p>	<p>Building certifier reference number</p> <p>.....</p> <p>Building development application number (if available)</p> <p>.....</p>
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<p><b>6. Appointed competent person details</b></p> <p>Under Part 6 of the Building Regulation 2021 a person must be assessed as a competent for the type of work (design-specification) by the relevant building certifier.</p>	<p>Name (in full) <u>GEORGE ZUBV</u></p> <hr/> <p>Company name (if applicable) <u>TECHNIBUILD CONSULTING</u></p> <p>Contact person <u>GEORGE ZUBV</u></p> <hr/> <p>Business phone number <u>0264 936 061</u></p> <p>Mobile number <u>0419 938 301</u></p> <hr/> <p>Email address <u>HIGHSPR@BIGPOND.NET.AU</u></p> <hr/> <p>Postal address <u>PO BOX 5020</u></p> <p><u>CORRANGIO</u> State <u>NSW</u> Postcode <u>2550</u></p> <hr/> <p>Licence class or registration type (if applicable) <u>REGISTERED PROFESSIONAL ENGINEER</u></p> <hr/> <p>Licence or registration number (if applicable) <u>RPERQ 7551</u></p>
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<p><b>7. Signature of appointed competent person</b></p> <p>This certificate must be signed by the individual assessed and appointed by the building certifier as competent to give design-specification help.</p>	<p>Signature </p> <p>Date <u>20 MAR 2024</u></p>
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LOCAL GOVERNMENT USE ONLY	
Date received	Reference number/s



## Appendix – explanatory information

**IMPORTANT NOTE:** it is an offence for a competent person to give a building certifier a document, including this form, that the person knows or reasonably suspects, is false or misleading.

**Who can complete this certificate?** (section 10 of the *Building Act 1975* (Building Act) and sections 73 and 77 of Building Regulation 2021 (BR 2021))

A building certifier can accept from a competent person (design-specification) a certificate stating that the competent person has assessed the building design or specification for the aspect of building work, and it will, if installed or carried out under the certificate, comply with the building assessment provisions, including any relevant standards and codes.

Schedule 10 of the BR 2021 defines *building design or specification* as any material, system, method of building or other thing related to the design of or specifications for building work.

When completing the certificate, a competent person is required under section 77 of the BR 2021 to include the basis for giving the certificate and state the extent to which the competent person has relied on tests, specifications, rules, standards, codes of practice or other publications.

**What is the purpose of this form?** (section 10 of the Building Act and sections 73 and 77 of the BR 2021)

The information in this form informs the building certifier's decision making when they are assessing a building development application, issuing the building development approval for the building work the subject of the certificate (form) and when amending the building development approval due to the receipt of updated aspect information such as glazing or truss specifications or revised excavation drawings.

**Can a manufacturer or supplier give this Form 15?**

A building certifier can accept this form from a manufacturer or supplier who the certifier has decided is a competent person (design-specification).

A manufacturer or supplier of building materials can give this form if they have undertaken the design component for the product. For example a window manufacturer who designs, constructs and supplies the windows to industry could give this form.

**Competent person** (section 10 of the Building Act 1975 and Part 6 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can accept design-specification help.

When deciding whether a person can be a competent person, the building certifier must assess the person having regard to their experience, qualifications and skills and ensure the person holds a licence or registration if required.

The building certifier is required to keep detailed records about what was considered when appointing a competent person.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

**What is required if a manufacturer or supplier did not do the design work for the product?**

A manufacturer or supplier who is not part of the design process may give the construction contractor, builder, competent person or the building certifier evidence of suitability such as a product technical statement under Part A5 of the Building Code of Australia (BCA), for an aspect or material stating that it is compliant with the relevant reference documents in the BCA i.e. the applicable Australian Standard/s.

**What if there is not enough space for all the supporting material/documents?**

Items 2, 3 and 4 requires the competent person to clearly identify the extent of the assessment that was undertaken for aspect/s of work identified in this form.

For instance, there is provision for material such as specifications, standards, codes or other relevant publications to be referenced in the form. However, if the space in the form is not sufficient to accommodate all of this material, you can create and refer to additional material in an addendum or attachment to the form.

The form is also available in a Microsoft Word version, that you can download and edit to include additional material in the relevant parts of the form. Note that editing the form in the Microsoft Word version may cause the relevant boxes to expand and increase the length of the document. This is acceptable and does not change the approved form, provided the section text (description on the left-hand side of the page) is not altered.

**Appointed competent person (design or specification)** – (sections 34 and 36 of the BR 2021)

A building certifier must assess and decide to appoint an individual as a competent person before they can, as a competent person, give design-specification help. The building certifier is required to keep detailed records about what was considered when appointing a competent person.

A building certifier must be satisfied that an individual is competent to give the type of help having regard to the individual's experience, qualifications and skills and if required by law to hold a licence or registration, that the individual is appropriately registered or licensed.

An individual is appointed as competent to give design-specification help on or from a particular day.

For further information about assessment of someone as a competent person refer to the **Guideline for the assessment of competent persons**.

**PRIVACY NOTICE**

The Department of Energy and Public Works is collecting personal information as required under the *Building Act 1975*. This information may be stored by the Department, and will be used for administration, compliance, statistical research and evaluation of building laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*. Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

### Form 15 Design Summary

Client Details *Project No: 14699 Job No: 3710*

Client Name	Doug Driver	Local Council	NBRC
Site Address	59 Meson, Gayndah QLD 4625	Lot No.	6
		Plan No.	RP 159354


### Design Criteria

Building Class	Class 10	Snow Loading	NO
Distance to coast	107.6Km	Importance Level	2
Wind Direction ( $M_d$ )	0.95	Wind Region	B1
Terrain Category ( $M_z$ )	2.5	ARI (Ultimate)	500 years
Topography ( $M_t$ )	1	ARI (Serviceability)	25 years
Shielding ( $M_s$ )	1	Ultimate Wind Speed ( $V_{des}$ )	47.11m/s
Climate Change ( $M_c$ )	1	Serviceability ( $V_{des}$ )	32.23m/s

### Skillion Carport

Building Size (Overall)	4800mm (W) x 8500mm (L)	Building Span	4548mm
Eave Height	3700mm	Apex Height	4107mm
Roof Pitch	5.0 deg	Overhangs	500mm (Left), 500mm (Right), N.A (Front), 500mm (Back)
Skillion Carport Rafters (Mid)	B2B - C200 1.9mm Purlin	Skillion Carport Purlins	C150 1.5mm Purlin
Skillion Carport Rafters (End)	Single - C200 1.9mm Purlin	Cross Bracing	32mm x 1.2mm Galvanised Strapping - P/L/M
Skillion Carport Posts	100x100x4.0 SHS - P/L/M	Bridge Bracing	C100 1.2mm Purlin
Footing Type	Cast-In	Eave Beam	C200 1.9mm Purlin
Skirt Wall Girts	N/A	Knee Bracing	N/A

Registered Professional Engineer 326457

**Mr George Zuev** 

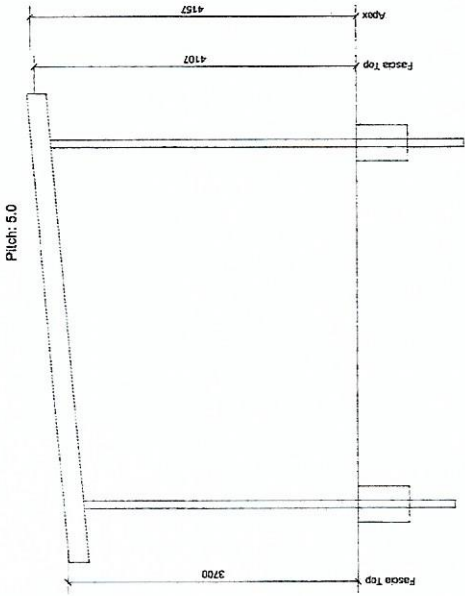
MIEAust CPEng N P E R

Signature..... Date..... 20 MAR 2024

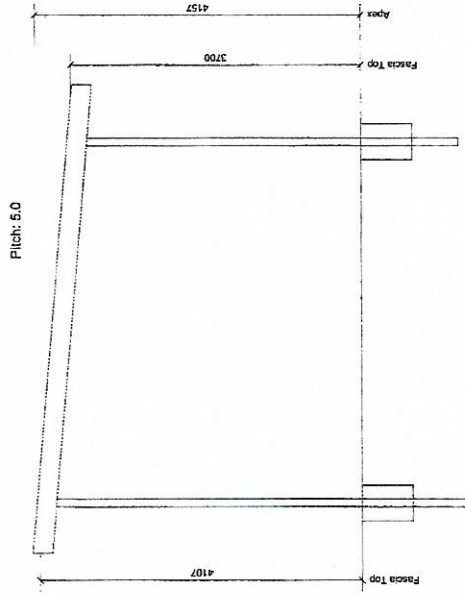
Registered on the NPER in the area of practice of  
**Civil / Structural**  
 National Professional Engineers Register

**George Zuev**  
 RPEQ 7551





FRONT ELEVATION



BACK ELEVATION

<b>R&amp;F STEEL BUILDINGS</b> R&F Steel Buildings Gayndah QBCC Lic. 1005385 100 Boyd Road, Gayndah QLD 4625 T 07 4161 1016 E gayndah@rsteelbuildings.com.au ABN: 27 465 986 096	PROJECT NO: P14699Q1 PROJECT NAME: Doug Driver	CUSTOMER: Doug Driver JOB NAME: Doug Driver	SITE: 59 Meson Gayndah, QLD 4625 LOT: 6 RP/SP: RP 159354	DATE: 06/03/2024 ULT WIND SPEED: 47.11 m/s SERVICEABILITY: 32.23 m/s
	DRAWING No: J3710-Driver:Elevation			

George Zuev RPEQ / 551 20 MAR 2024





R&F Steel Buildings Gayndah  
ABN: 27 495 096 096

R&F Steel Buildings Gayndah  
QBCC Lic: 1009386  
100 Boyd Road, Gayndah QLD 4625

T 07 4161 1016  
E gayndah@rfsteelbuildings.com.au

PROJECT NO: P14699Q1

CUSTOMER: Doug Driver

PROJECT NAME: Doug Driver

JOB NAME: Doug Driver

SITE:

59 Meson  
Gayndah, QLD 4625

LOT: 6

RP/SP: RP 159354

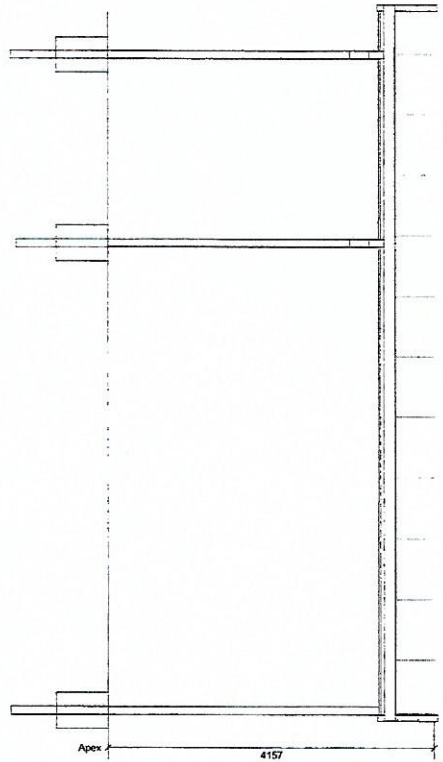
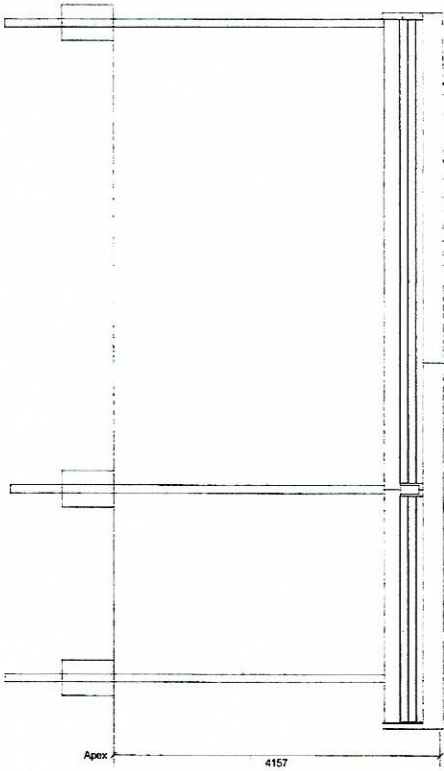
DRAWING No:

J3710-Driver:Elevation

DATE:

06/03/2024

ULT WIND SPEED: 47.11 m/s  
SERVICEABILITY: 32.23 m/s



George Zuev 20 MAR 2024  
RPEQ 7551



R&F Steel Buildings Gayndah  
 ABN: 27 495 986 096

R&F Steel Buildings Gayndah  
 QBCC Lic. 1005385  
 100 Boyd Road, Gayndah QLD 4625

T 07 4191 1016  
 E gayndah@rfsteelbuildings.com.au

**Floor Plan**

PROJECT NO: P14699Q1 CUSTOMER: Doug Driver

PROJECT NAME: Doug Driver

JOB NAME: Doug Driver

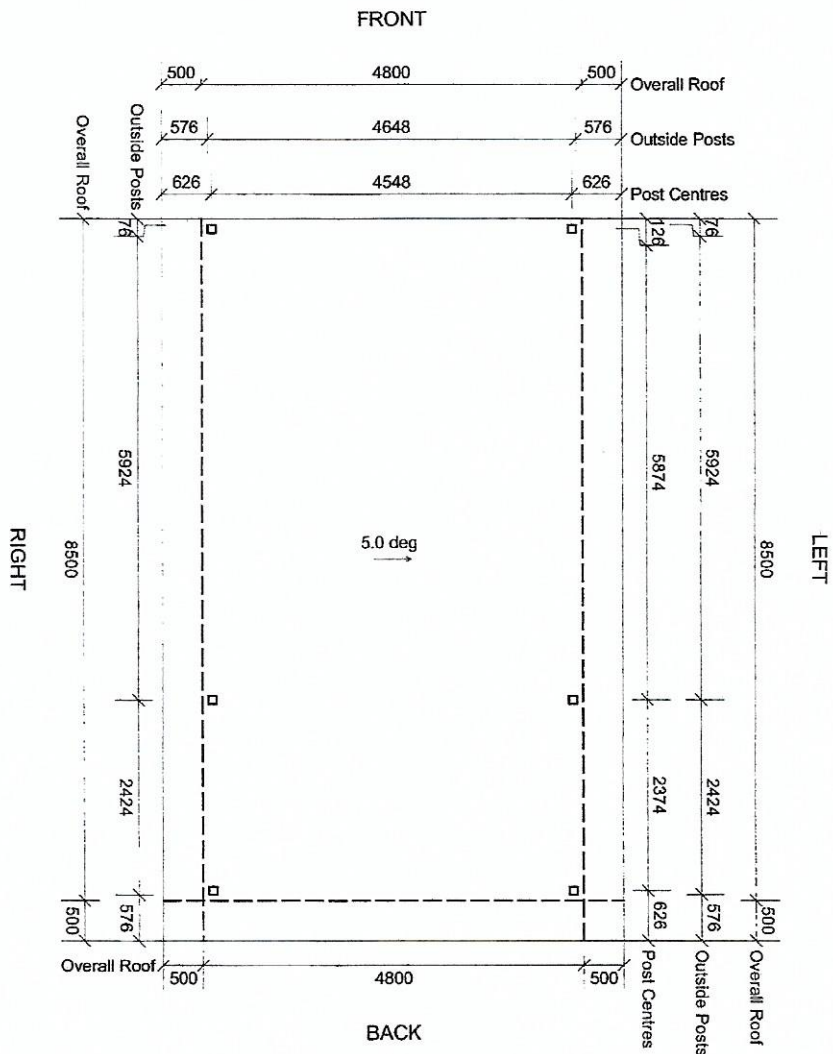
SITE: 59 Mason  
 Gayndah, QLD 4625

LOT: 6 R/SP: RP 159364

DRAWING No: J3710-Driver-Floor Plan

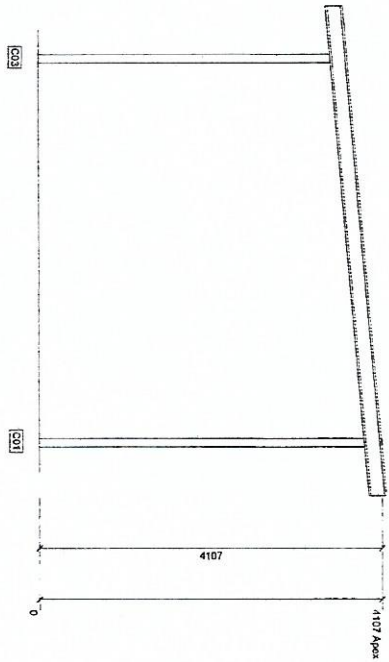
DATE: 06/03/2024

ULT WIND SPEED: 47.11 m/s  
 SERVICEABILITY: 32.23 m/s

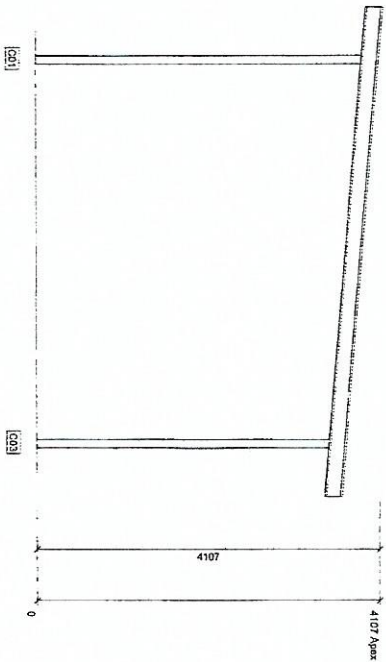


George Zuey 20 MAR 2024  
 RPEQ 7551

Label	Size	Qty	Length
C01	SHS100/100/40-P1	2	5400
C03	SHS100/100/40-P1	2	4938




Front



Back

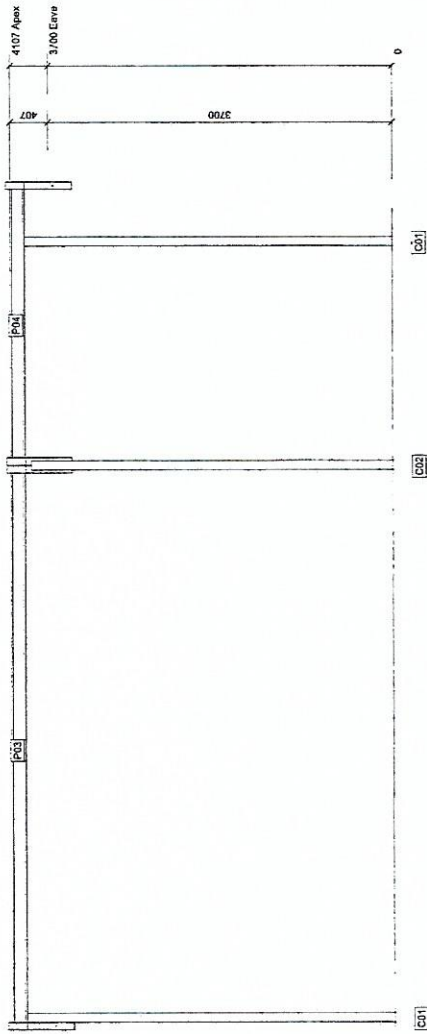
Wall Girt Layout - End Elevations

		<b>R&amp;F Steel Buildings Gayndah</b> QBCC Lic: 1009385 100 Boyd Road, Gayndah QLD 4625	
R&F Steel Buildings Gayndah ABN: 27 493 966 090		T 07 4161 1018 E gayndah@rfssteelbuildings.com.au	
PROJECT NO:	P14899Q1	CUSTOMER:	Doug Driver
PROJECT NAME:	Doug Driver		
JOB NAME:	Doug Driver		
SITE:	59 Meson Gayndah, QLD 4625	DATE:	06/03/2024
LOT:	6	RRSP:	RP 159354
DRAWING NO:	J3710-Driver-Wall Girt Layout	ULT WIND SPEED:	47.11 m/s
		SERVICEABILITY:	32.23 m/s

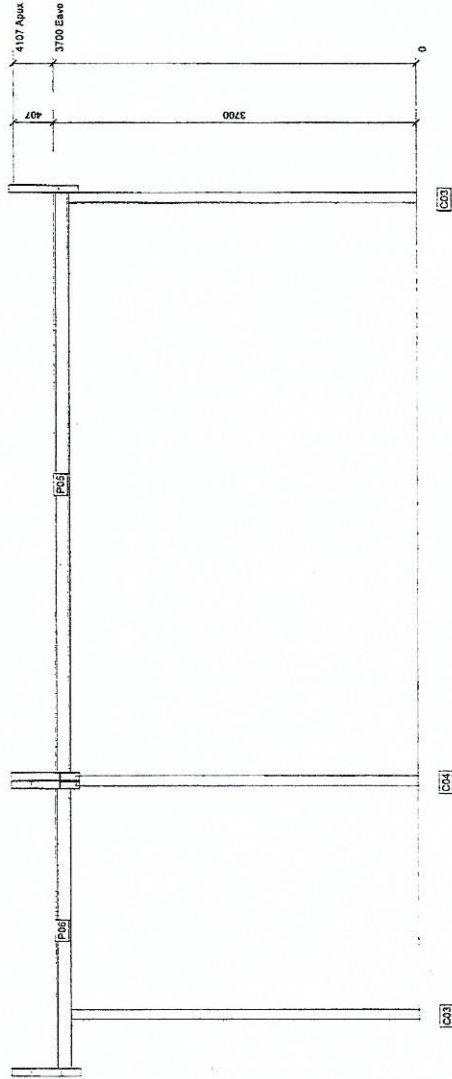
George Zuev 20 MAR 2024  
RPEQ 7551

Label	Size	Qty	Length
C01	SHS10010040-PI	2	5485
C02	SHS10010040-PI	1	5184
C03	SHS10010040-PI	2	4843
C04	SHS10010040-PI	1	4660
P03	PC15015	1	5844
P04	PC15015	1	2844
P05	PC15015	1	5843
P06	PC15015	1	2844

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20 MAR 2021



Right



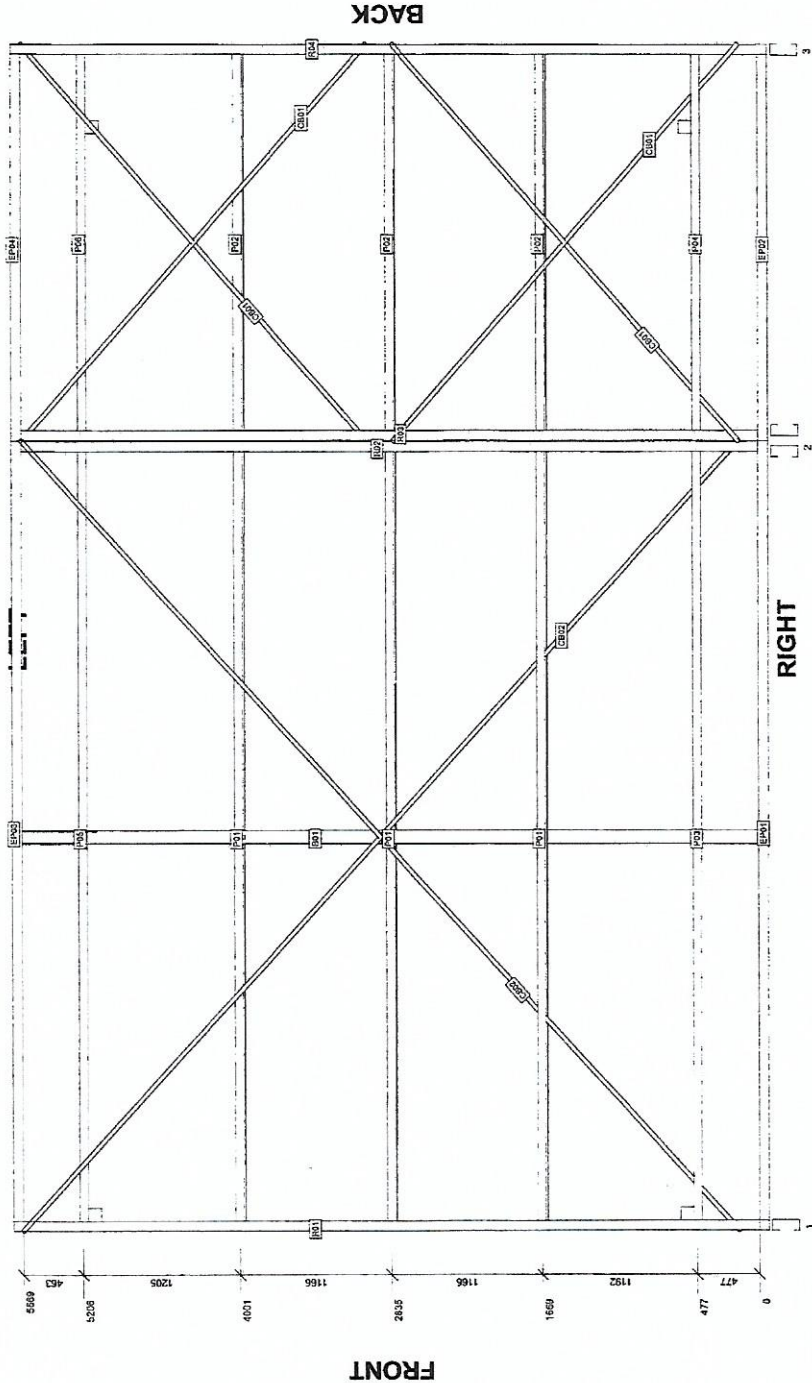
**Left Wall Girt Layout - Side Elevations**

<b>R&amp;F STEEL BUILDINGS</b> R&F Steel Buildings Gayndah ABN: 27 495 985 096	PROJECT NO: P14689Q1 PROJECT NAME: Doug Driver	CUSTOMER: Doug Driver JOB NAME: Doug Driver	SITE: 59 Meson Gayndah, QLD 4625 LOT: 6 RP/SP: RP 159354	DATE: 06/03/2024 ULT WIND SPEED: 47.11 m/s SERVICEABILITY: 32.23 m/s
	R&F Steel Buildings Gayndah QBCC Lic. 1006385 100 Boyd Road, Gayndah QLD 4625 T 07 4161 1016 E gayndah@rfssteelbuildings.com.au		DRAWING No: J3710-Driver:Wall Girt Layout	



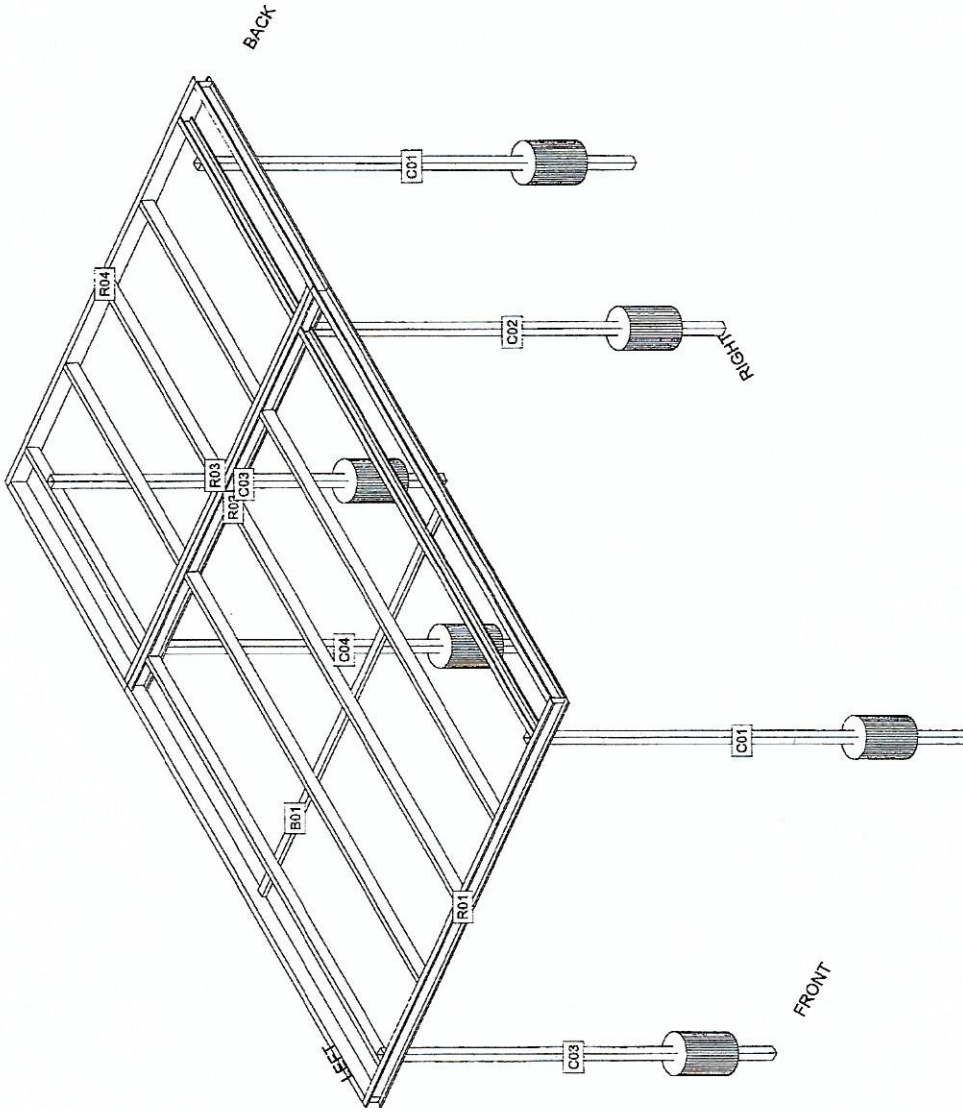
Label	Size	Qty	Length
B01	PC10012	1	5669
CB01	BS321201-P1	4	4029
CB02	BS321201-P1	2	8172
EP01	PC20019	1	5923
EP02	PC20019	1	2924
EP03	PC20019	1	5923
EP04	PC20019	1	2924
P01	PC15015	3	5943
P02	PC15015	3	2844
P03	PC15015	1	5944
P04	PC15015	1	2844
P05	PC15015	1	5943
P06	PC15015	1	2844
R01	PC20019	1	5639
R02	PC20019	1	5987
R03	PC20019	1	5687
R04	PC20019	1	5639

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20 MAR 2024



Roof Purlin Plan (Env: 1)

<p><b>R&amp;F STEEL BUILDINGS</b> R&amp;F Steel Buildings, Gayndah ABN: 27 495 986 096</p>		<p>PROJECT NO: P14699Q1    CUSTOMER: Doug Driver</p>		<p>SITE: 59 Meson Gayndah, QLD 4625</p>		<p>DATE: 06/03/2024</p>	
<p>PROJECT NAME: Doug Driver</p>		<p>LOT: 6    RP/SP: RP 159354</p>		<p>ULT WIND SPEED: 47.11 m/s</p>		<p>SERVICEABILITY: 32.23 m/s</p>	
<p>JOB NAME: Doug Driver</p>		<p>DRAWING No: J3710-Driver:Roof Purlin Plan</p>					



Label	Size	Qty	Length
B01	PC10012	1	5689
C01	SHS10010040-PI	2	5485
C02	SHS10010040-PI	1	5194
C03	SHS10010040-PI	2	4943
C04	SHS10010040-PI	1	4860
R01	PC20019	1	5839
R02	PC20019	1	5887
R03	PC20019	1	5887
R04	PC20019	1	5839

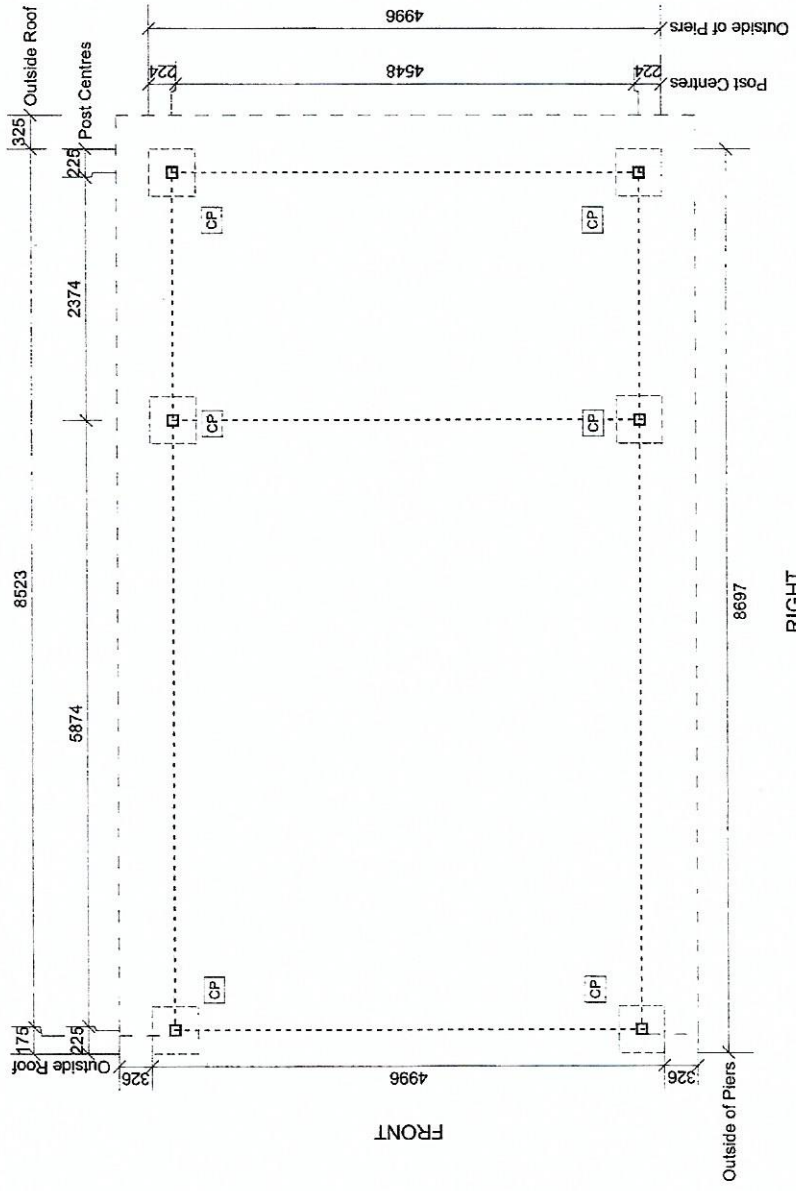
George Zuev  
RPEQ 7551  
20 MAR 2024

**ISO Front Right**

PROJECT NO: P14699Q1 PROJECT NAME: Doug Driver		SITE: 59 Merson Gayndah, QLD 4625 LOT: 6 RP/SP: RP 159354		DATE: 06/03/2024 ULT WIND SPEED: 47.11 m/s SERVICEABILITY: 32.23 m/s	
R&F Steel Buildings Gayndah QBCC Lic. 1006385 100 Boyd Road, Gayndah QLD 4625 T 07 4161 1016 E gayndah@rsteelbuildings.com.au		CUSTOMER: Doug Driver JOB NAME: Doug Driver		DRAWING No: J3710-Driver:ISO Plan	



R&F Steel Buildings Gayndah  
ABN: 27 495 986 096



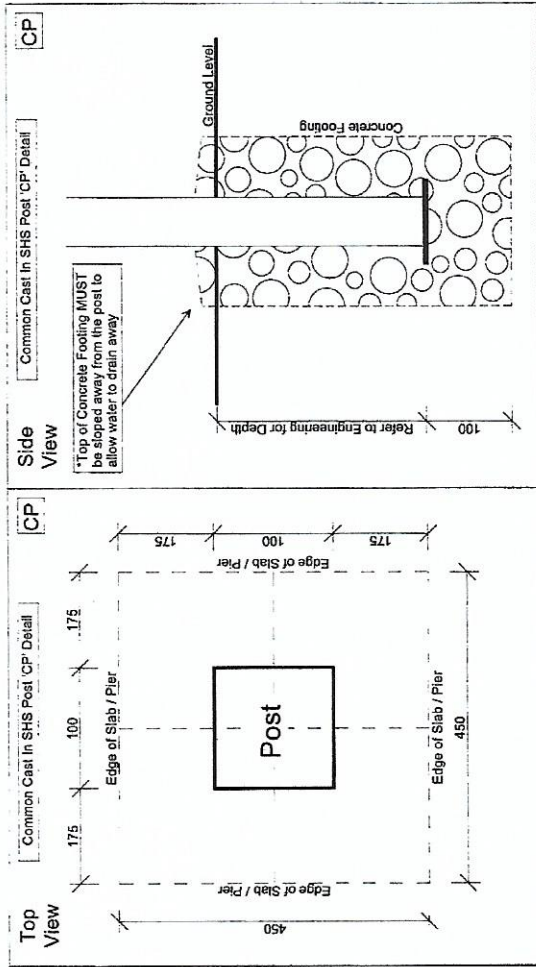
George Zuey 20 MAR 2021 RPEQ 7551

**Pier Only / Footing Plan**

<p>R&amp;F Steel Buildings Gayndah          CBCC Lic. 1009586          100 Boyd Road, Gayndah QLD 4625          T 07 4161 1016          E gayndah@rfsteelbuildings.com.au</p>	<p>PROJECT NO: P14699Q1</p>	<p>CUSTOMER: Doug Driver</p>	<p>DATE: 06/03/2024</p>
	<p>PROJECT NAME: Doug Driver</p>	<p>LOT: 6</p>	<p>ULT WIND SPEED: 47.11 m/s          SERVICEABILITY: 32.23 m/s</p>
<p>JOB NAME: Doug Driver</p>	<p>SITE: 59 Messon          Gayndah, QLD 4625</p>	<p>RP/SP: RP 159364</p>	<p>DRAWING No: J3710-Driver:Slab/Footing Plan</p>



George Zuev 20 MAR 2024 RPEQ 7551



**Post Details**

<b>R&amp;F STEEL BUILDINGS</b> R&F Steel Buildings, Gayndah ABN: 27 495 986 096		R&F Steel Buildings, Gayndah QBCC Lic. 1009385 100 Boyd Road, Gayndah QLD 4625 T 07 4161 1016 E gayndah@rfssteelbuildings.com.au		PROJECT NO: P14699Q1 PROJECT NAME: Doug Driver JOB NAME: Doug Driver	CUSTOMER: Doug Driver DRAWING No: J3710-Driver:Slab/Footing Plan	SITE: 59 Mason Gayndah, QLD 4625 LOT: 6 RP/SP: RP 159354	DATE: 06/03/2024 ULT WIND SPEED: 47.11 m/s SERVICEABILITY: 32.23 m/s
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**GENERAL NOTES**

1. Sizing out of dimensions & sizes of structural steel shall not be obtained by scaling the drawings.
2. Any sizing out dimensions shown on the structural drawings shall be checked by the contractor before construction commences.
3. All dimensions are in millimeters UNCO.
4. Roof & wall cladding shall be fixed in accordance with the manufacturer's specifications.
5. Provided 4x14 gauge fasteners per battion to Monoclad & 6x14 gauge fasteners per battion to Compugard roof cladding in Wind Regions C&D. Cyclic caps required for C73 & C85 Wind Cats.
6. Provide 4x10 gauge fasteners per battion to Monoclad wall cladding & 6x10 gauge fasteners per battion to Compugard wall cladding in C50 & C61 Wind Cats. No cyclone caps required.
7. All battens lapped to a minimum 10% of largest adgespan.

**STEELWORK NOTES**

1. All steelwork to be in accordance with AS4100 UNO.
2. All welding to be in accordance with AS1554.
3. Except where varied by the contract documents, all steel shall be in accordance with AS1163 G450 for RSHS/SHS sections.
4. All steelwork that will be exposed to view will have weld spatter, rust, dregs & burrs removed & all sealing & butt welds ground flush.
5. Surface treatments of welds shall be hand ground or wire brushed to class 2 finish & painted with 1 coat of zinc rich primer.
6. Hot rolled steel sections shall have a minimum Steel Grade of 300MPa.
7. Bolts shall be in accordance with AS/NZS1252.

**COLD FORMED SECTIONS**

1. Cold formed sections shall comply with AS/NZS4500, AS1397, AS1594 & AS/NZS1595.
  2. Cold formed steel sections shall have the following minimum steel grades: PurLins & Girts - 450MPa. Other Sections - 300MPa.
  3. All sections shall have a minimum hot dipped zinc coating thickness of 275 grams/m<sup>2</sup>.
- UNO denotes - Unless Noted Otherwise.

**WIND SPEED CLASSIFICATIONS**

REGION	VP	VF	R&F WIND CAT.	GPI
A&B	33	40	N40	0.2, 0.3
A&B	41	50	N50	0.2, 0.3
A&B	50	61	N61	0.2, 0.3
A&B	50	61	N61D	0.7, 0.85
C&D	41	50	C50	0.7, 0.85
C&D	50	61	C61	0.7, 0.85

**SNOW LOADING - (Kpa)**

R&F WIND CAT.	ROOF PITCH	MAX. SPAN	MEMBER	WIND CATEGORY	
N40 / N40D	10°	15'	3600	C10010	
N40 / N40D	15°	20'	4600	C15012	
N40 / N40D	20°	28'	6000	C15012	
N61 / N60D	1.3	1.8	2.4	3.5	C15012
N61 / C50	1.5	2.2	3.2	4.0	C15012
N61D / C61	1.8	2.8	4.0	5.0	C15012
N61D / C61	1.8	2.8	4.0	5.0	C20024

These standard drawings are suitable for the following loads.  
(Refer AS1170.3)

**PURLIN SELECTION TABLE**

MAX. SPAN	MEMBER	WIND CATEGORY
3600	PURLIN P-1	C10010
4600	PURLIN P-1	C15012
6000	PURLIN P-1	C15012
7600	PURLIN P-1	C20024

NOTE: Shadow walls can be added.

**RAFTER SELECTION TABLE**

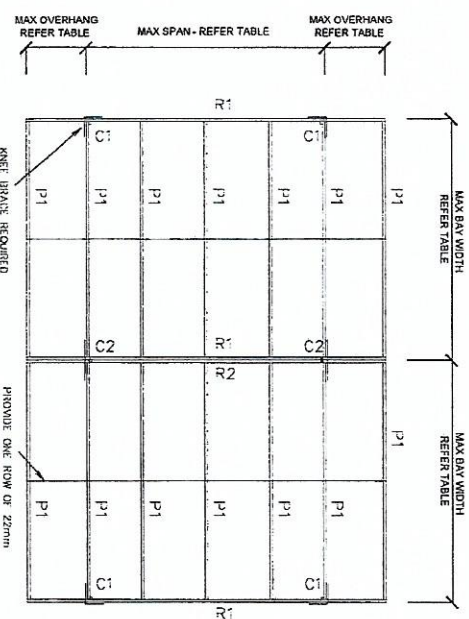
MAX. SPAN	MEMBER	WIND CATEGORY
3600	RAFTER - R1	C10010
3600	RAFTER - R2	C15012
4500	RAFTER - R1	C15012
4500	RAFTER - R2	C15012
6000	RAFTER - R1	C15012
6000	RAFTER - R2	C15012
7000	RAFTER - R1	C20024
7000	RAFTER - R2	C20024
8000	RAFTER - R1	C25024
8000	RAFTER - R2	C25024
9000	RAFTER - R1	C30024
9000	RAFTER - R2	C30024

**COLUMN SELECTION TABLE**

MAX. SPAN	MEMBER	WIND CATEGORY
2400	50SHS x 2.5mm	C61
2700	50SHS x 2.5mm	C61
3000	50SHS x 2.5mm	C61
3000	50SHS x 2.5mm	C61
2400	65SHS x 3.0mm	C61
2400	65SHS x 3.0mm	C61
3000	65SHS x 3.0mm	C61
3000	65SHS x 3.0mm	C61
2400	75SHS x 3.0mm	C61
2400	75SHS x 3.0mm	C61
3000	75SHS x 3.0mm	C61
3000	75SHS x 3.0mm	C61
2400	100SHS x 3.0mm	C61
2400	100SHS x 3.0mm	C61
3000	100SHS x 3.0mm	C61
3000	100SHS x 3.0mm	C61
2400	125SHS x 3.0mm	C61
2400	125SHS x 3.0mm	C61
3000	125SHS x 3.0mm	C61
3000	125SHS x 3.0mm	C61

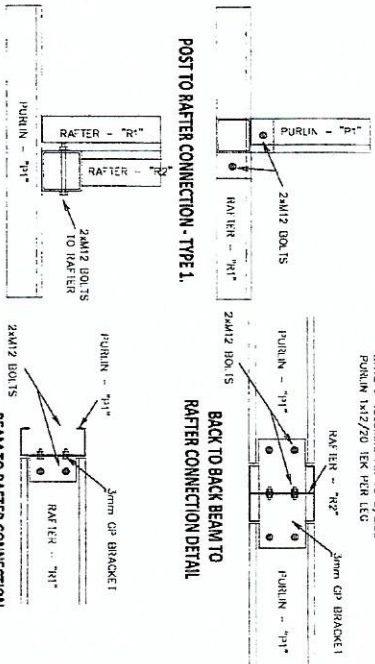
**ROOF CLADDING OPTIONS.**

MONOCAD: 4x14 fasteners per sheet, per battion (for caps)  
COMPUGARD: 6x14 fasteners per sheet, per battion (for caps)

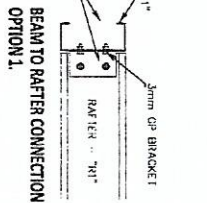


PROVIDE ONE ROW OF Z2mm CEILING BATTEN BRACING FOR BAYS > 4500mm. FIX TO U/SIDE PURLIN 1x1/2" PER TIE

**POST TO RAFTER CONNECTION - TYPE 1.**



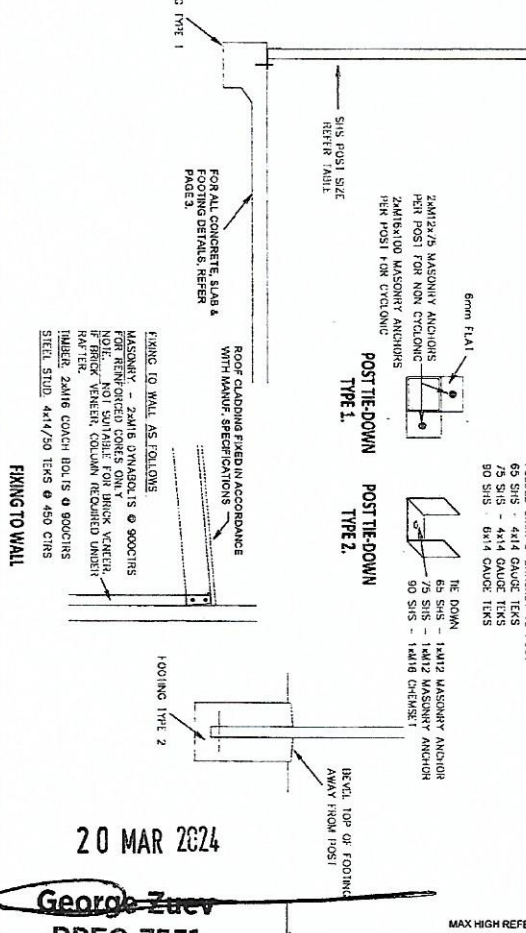
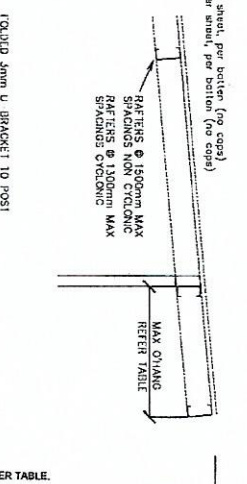
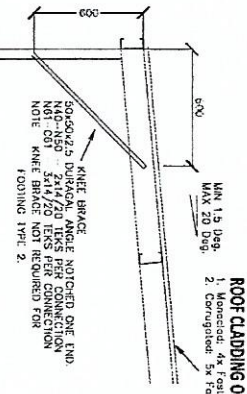
**BACK TO BACK BEAM TO RAFTER CONNECTION DETAIL**



**POST TO RAFTER CONNECTION - TYPE 2.**



**BEAM TO RAFTER CONNECTION OPTION 1.**



20 MAR 2024

George Zucy  
RPEQ 7551



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DO NOT SCALE

SKILLION CARPORTS

AREA

CONNECTION DETAILS & NOTES  
SKILCARPORT01

ENGINEERING DOCS.  
AMEND DESCRIPTION FOR CONSTRUCTION DESIGN VERIFICATION: 07/2017



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DO NOT SCALE

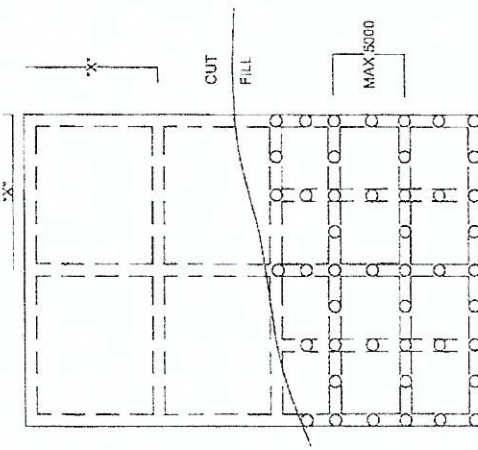
## STANDARD SLABS & FOUNDATIONS

CLIENT: -

SITE ADDRESS: -

DWG. NO. PREC-1010

George Zuo  
70 M... 07 1997  
70 M... 07 1997



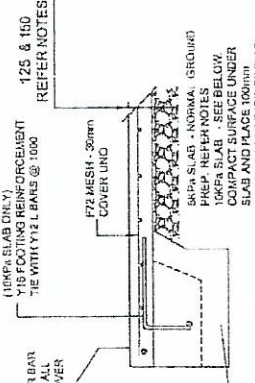
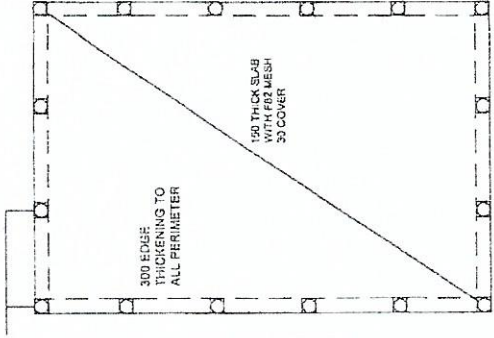
EDGE BEAM AND SLAB SCHEDULE

SITE CLASS	'D' CLASS	SLAB MESH	TRENCH MESH	MAXIMUM BEAM SPACING 'X'	PIERS
A	300	F72	3-9TM	-	-
S	300	F72	3-9TM	-	-
M	300	F72	3-11TM	-	-
M-D	300	F72	3-11TM	9.0m	2.5m C/S
H	400	F72	3-11TM	7.0m	2.5m C/S
H-D	400	F82	3-11TM	9.0m	2.5m C/S
E	500	F82	3x Y12TM	5.0m	2.5m C/S
P	500	F82	3x Y12TM	5.0m	2.5m C/S

CLASS E & P SITES SHOULD BE REFERRED TO AN ENGINEER FOR CONFIRMATION. CLASS P DESIGN CAN BE USED FOR CUT/FILL SITES. MINIMUM REINFORCEMENT LAPS:-

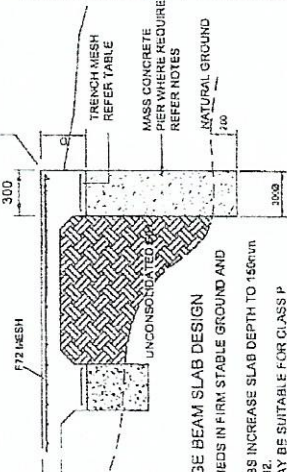
Member	Lap	Number	Lap
Y12	350	F82	500
		F72	425
		F72	225

ENSURE OUTER BAR OF MESH IS WITHIN 20-50mm OF SLAB EDGE. TOP REINFORCEMENT TO BE SET TO CLOSE TO SURFACE. SET TO 10mm FOR TRIMMER BARS. MAX BEAM SPACING - 5000 RECOMMENDED.



### INDUSTRIAL SLAB DETAIL

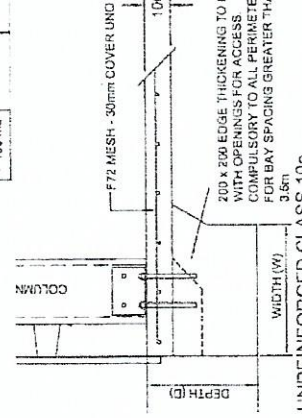
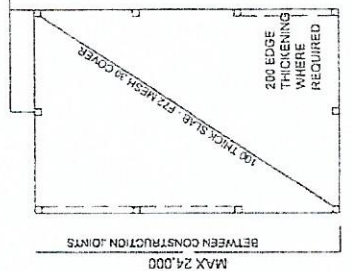
SUITABLE FOR CLASS INDUSTRIAL SHEDS IN FIRM STABLE GROUND. BARS SHRINKAGE - CLASS M, M-D. ENSURE PROPER GROUND PREPARATION UNDER SLAB. 5 kPa LIVE LOAD 10 kPa LIVE LOAD 125mm SLAB F72 MESH 150mm SLAB F82 MESH



### REINFORCED EDGE BEAM SLAB DESIGN

SUITABLE FOR ALL SHEDS IN FIRM STABLE GROUND AND CUT TO FILL SITES. FOR INDUSTRIAL SLABS INCREASE SLAB DEPTH TO 150mm AND MESH SIZE TO F82. THIS DESIGN ALSO MAY BE SUITABLE FOR CLASS P 'PROBLEM SITES'. REFER TO ENGINEER.

PAD SIZES FOR INDUSTRIAL AND DOMESTIC SLABS	
DOMESTIC SLABS	INDUSTRIAL SLABS
100mm	125mm
300x300	400x400
300x300	400x400
400x400	400x400
400x400	400x400
400x400	500x500
500x500	500x500
600x600	600x600
600x600	600x600



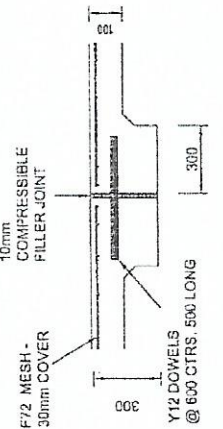
### UNREINFORCED CLASS 10a SLAB DETAIL

SUITABLE FOR CLASS 10a SHEDS IN FIRM STABLE GROUND. MAX SHRINKAGE - CLASS M & M-D. FOR CLASS H AND H-D SOILS INCREASE SLAB DEPTH TO 110mm AND INSTALL 300x300 MASS CONCRETE PIERS UNDER EACH PAD FOOTING TO 1500 BELOW SURFACE. SUITABLE FOR SHED SPANS NOT GREATER THAN 12.0m AND BAY SPACING NOT GREATER THAN 4.6m.

### NOTES

- MINIMUM 28 DAY CONCRETE STRENGTH TO BE 20 MPa
- MAXIMUM AGGREGATE STONE SIZE - 20mm
- DESIGN SLAB TO BE BOUND TO NATURAL SKL OR CONTROLLED COMPACTED FILL TO BE POUNDED ON NATURAL SKL OR CONTROLLED COMPACTED FILL
- SLABS ON CUT/FILL SITES AND APPLICABLE PROBLEM SOILS MAY BE CONSTRUCTED ON NATURAL SKL OR CONTROLLED COMPACTED FILL. USE MASS CONCRETE PIERS PLACED UNDER THROUGH FILL 200mm INTO NATURAL SKL
- SKL CONDITIONS ARE ASSUMED TO BE CLASS M OR BETTER FOR STANDARD SLABS UNLESS TABLED OPTIONS FOR CLASS H, HD & E ARE ALSO PROVIDED
- SLAB AND EDGE BEAMS SHALL BE POURED IN ONE CONTINUOUS OPERATION UNLESS OTHERWISE SPECIFIED
- CONCRETE IS TO BE COMPACTED BY VIBRATION OR OTHER MEANS TO ELIMINATE AIR ENTRAINMENT
- REINFORCING BAR CRACK CONTROL JOINTS SHALL BE CARRIED OUT WITH LABS OF THE PLACING OPERATOR
- A SINGLE LAYER OF 200 MICRON PVC SHEETING SHALL BE PLACED UNDER THE SLAB. 50mm CRUSHER DUST IS RECOMMENDED FOR A LEVEL EVEN COMPACTED SURFACE.
- CURING OF SLAB SURFACE AGAINST EXCESSIVE MOISTURE LOSS SHALL BE CARRIED OUT FOR 7 DAYS AFTER PLACING. APPROVED CURING METHODS ONLY
- SLABS PLACED WIDER THAN 15m SPAN SHALL HAVE F82 MESH AND 150 TH SLAB AS STANDARD
- ALL SLABS PLACED LONGER THAN 18m (ONE POUND) SHALL HAVE F82 MESH AND 150 TH SLAB BETWEEN CONSTRUCTION JOINTS
- MAXIMUM LENGTH OF SLAB BETWEEN CONSTRUCTION JOINTS 100mm SLAB 25m 150mm SLAB 30m

### CONSTRUCTION JOINT DETAIL



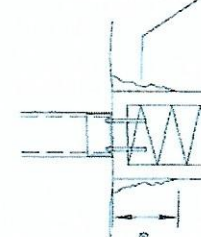


# PIER ONLY DETAILS FOR PORTAL FRAME SHEDS

THE TABLE BELOW REPRESENTS THE REQUIREMENTS FOR ENCLOSED SHEDS OF BAY SIZES AND SPANS NOTED. MAXIMUM HEIGHT OF SHEDS FOR THESE FOOTINGS SHALL NOT BE MORE THAN 6M AND NOT MORE THAN 65% OF SPAN.

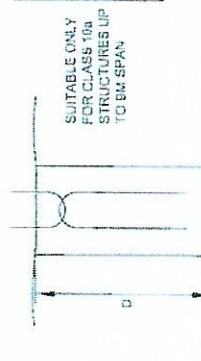
THE SPAN, BAY AND HEIGHTS NOTED IN THE TABLE REPRESENT MINIMUM REQUIREMENTS

3m BAYS	4m Shed Span		5m Shed Span		6m Shed Span		7.5m Shed Span		9m Shed Span		12m Shed Span		15m Shed Span		18m Shed Span		21m Shed Span		24m Shed Span			
	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth		
N2	300	700	300	700	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000
N3	300	700	300	700	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000
N4	300	800	300	800	300	900	300	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000
C1	300	800	300	800	300	900	300	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000
C2	300	900	300	900	300	1000	300	1200	450	1200	450	1200	450	1200	450	1200	450	1200	450	1200	450	1200
3.5m BAYS	4m Shed Span		5m Shed Span		6m Shed Span		7.5m Shed Span		9m Shed Span		12m Shed Span		15m Shed Span		18m Shed Span		21m Shed Span		24m Shed Span			
	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth		
	N2	300	700	300	700	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	
	N3	300	700	300	700	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	
4.5m BAYS	4m Shed Span		5m Shed Span		6m Shed Span		7.5m Shed Span		9m Shed Span		12m Shed Span		15m Shed Span		18m Shed Span		21m Shed Span		24m Shed Span			
	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth		
	N2	300	900	300	900	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	
	N3	300	900	300	900	300	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	
6m BAYS	4m Shed Span		5m Shed Span		6m Shed Span		7.5m Shed Span		9m Shed Span		12m Shed Span		15m Shed Span		18m Shed Span		21m Shed Span		24m Shed Span			
	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth	Diain	Depth		
	N2	300	900	450	900	450	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	
	N3	300	900	450	900	450	900	450	900	450	1000	450	1000	450	1000	450	1000	450	1000	450	1000	



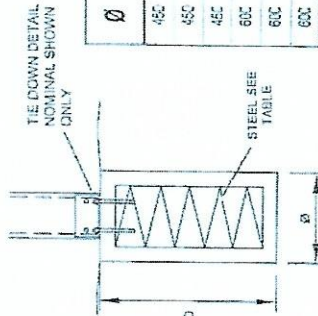
CALCULATION OF PIER SKIN RESISTANCE ALLOWS FOR IGNORING THE TOP SECTION. THIS ALLOWS FOR SEASONAL CHANGE OF THE SOIL AND IS DEPENDENT ON THE SOILS SHRINKAGE CAPABILITY. CLASS II SOILS - 1 x PIER DIAM SHOULD BE IGNORED. CLASS III AND E SOILS - IGNORE 1.5 x PIER DIAM. THESE TABLE PIER WILL NOT BE SUITABLE FOR NON-COHESIVE SOILS. REFER DESIGN TO ENGINEER. CONSTRUCTING A CONCRETE PARTWAY AROUND THE SHED PIERS AND/OR PERS AS PART OF THE SLAB WILL INCREASE THE NETT STRENGTH OF A PIER IN GROUND.

## TYPE 1 PIERS



SUITABLE ONLY FOR CLASS 10a STRUCTURES UP TO 6M SPAN.

REINF	Ø	MAX DEPTH
1 x Y12	300	900
2 x Y12	300	1200
2 x Y15	400	1200

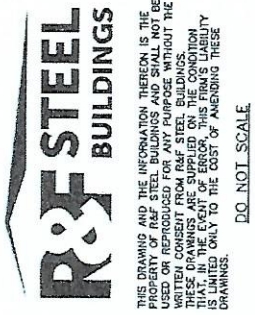


## DESIGN ALLOWANCES SKIN FRICTION

## TYPE 2 PIERS

Ø	MAX DEPTH	LIGS	STEEL
450	900	6mm @ 450	4 x Y12
450	1200	6mm @ 300	4 x Y12
450	3000	6mm @ 250	4 x Y12
600	1200	6mm @ 250	6 x Y12
600	1500	10mm @ 300	6 x Y16
600	2600	10mm @ 250	6 x Y16

- THESE PIER DETAILS ASSUME A MINIMUM SITE CLASSIFICATION OF SOIL CLASS "M"
- FOR CLASS H & HD SITES, INCREASE DEPTH OF PIER BY ONE PIER DIAMETER. CLASS H PIERS SHALL BE A MINIMUM DEPTH OF 1600mm
- MINIMUM BEARING CAPACITY OF PIER BASE SHALL BE 400KPA.
- FOUNDING PIERS IN FILL SHALL NOT BE PERMITTED.
- CONCRETE SHALL BE A MINIMUM OF N20 WITH A DESIGN SLUMP OF 80 mm ± 20 mm.
- CONCRETE SHALL BE MECHANICALLY COMPACTED OR BY HAND RODDING.
- PIER SHALL BE 1 FT PROUD OF THE GROUND SURFACE 50mm TO 150mm PERMITTED. TOP SHALL BE SLOPED TO ALLOW WATER TO DRAIN AWAY.
- STANDARD RULES FOR A CLASS H SITE ACCORDING TO AS2870 REGARDING SURROUNDING FLORA PLACEMENT SHALL APPLY.
- NON-COHESIVE SOILS SUCH AS SANDS AND LOOSE SILTS SHALL BE TREATED AS "PROBLEM SITES" AND SHALL NOT BE COVERED BY THIS DRAWING
- CLASS E AND E-D SITES SHALL ALSO BE ALLOWED USING THESE TABLES WITH THE FOLLOWING PROVISIONS:
  - > PIER DEPTH SHALL BE A MINIMUM OF 1800mm
  - > TYPE 1 PIERS SHALL NOT BE PERMITTED.
  - > INCREASE TABLED DEPTHS BY ONE AND A HALF PIER DIAMETERS
- THE PORTAL SHED DESIGNS FOR THESE PIERS ARE ASSUMED THE FOLLOWING INTERNAL PRESSURE COEFFICIENTS
  - NON-CYCLONIC - +0.2
  - CYCLONIC - +0.7
- MACHINERY SHEDS AND OTHER OPEN SIDED TYPE SHEDS SHALL USE THE PIER DETAILS FOR CYCLONIC CONDITIONS.
- ROOF ONLY BUILDINGS IN C1 CATEGORY SHALL USE N3 CASE FOR PIER SELECTION. C2 WIND CATEGORY SHALL USE M4
- AWNINGS & END WALL COLUMNS SHALL USE SHED FOOTINGS OF PORTALS CARRYING SIMILAR ROOF AREAS. THESE PIER DESIGNS ARE BASED ON A MINIMUM ALLOWABLE SOIL SHEAR STRESS OF 50KPa



THIS DRAWING AND THE INFORMATION THEREON IS THE PROPERTY OF R&F STEEL BUILDINGS AND SHALL NOT BE USED OR REPRODUCED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT FROM R&F STEEL BUILDINGS. THESE CONDITIONS APPLY TO ALL DRAWINGS AND THAT IN THE EVENT OF ERROR, THIS FIRM'S LIABILITY IS LIMITED ONLY TO THE COST OF AMENDING THESE DRAWINGS.

DO NOT SCALE

## STANDARD SLABS & FOUNDATIONS

CLIENT: --  
SITE ADDRESS: --

George Zuev  
RPHO 7551  
20 MAR 2024



# SITE PLAN nts

25°37'24"S 151°36'11"E

25°37'24"S 151°36'13"E

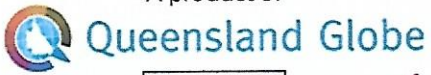


25°37'26"S 151°36'11"E

25°37'26"S 151°36'13"E

A product of

Legend located on next page



59 MESON STREET

GAYNDAH 20-3-24



Scale: 1:400

Printed at: A4

Print date: 5/3/2024

Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

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**Queensland Government**  
Department of Resources