

14 May 2024

**Our reference: DA240015**  
**Document ID: 1224646**

Dean Walters  
 PO Box 255  
 GAYNDAH QLD 4625

Dear Applicant

**CONCURRENCE AGENCY RESPONSE**  
 59 MESON STREET, GAYNDAH  
 (Given under section 56(4) of the *Planning Act 2016*)

Thank you for your concurrence agency referral for the following premises which was properly referred on 11 April 2024. The North Burnett Regional Council has assessed the referral against the relevant matters of its jurisdiction and has made a decision as follows:

**Applicant details**

Applicant name: Dean Walters  
 Applicant contact details: PO Box 255  
 GAYNDAH QLD 4625  
 Email: gayndah@rfsteelbuildings.com.au  
 Phone: 07 4161 1016  
 Mobile: 0429 416 110

**Site details**

Street address: 59 MESON STREET, GAYNDAH  
 Real property description: 6RP159354

**Application details**

Application No: DA240015  
 Date of Decision: 14 May 2024  
 Proposed development: Development Permit for Building Works

**Aspects of development and type of approval being sought**

Nature of Development	Approval Type	Brief Description of Proposal
Building Work - assessable against planning scheme	Development Permit	Carport - over 4m in height

### Referral triggers

The development application was referred to the Council under the following provisions of the *Planning Regulation 2017*

Referral trigger	Schedule 9 – Building work assessable against the <i>Building Act</i> Part 3 Division 2 Table 1 Particular class 1 and 10 building and structures involving possible amenity and aesthetic impact
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### Decision

Decision Details:	The North Burnett Regional Council advises the assessment manager that;
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The development approval must be subject to stated development conditions set out in Attachment 1

### Conditions

This approval is subject to the conditions in Attachment 1.

The North Burnett Regional Council advises the assessment manager that the conditions must be attached to any development approval for the application in accordance with section 56 of the *Planning Act 2016* and that under section 62(b) of the *Planning Act 2016*. The assessment manager must attach this response to any approval for the development.

### Reasons for decision to impose conditions

Under section 56 (7)(c) of the *Planning Act 2016*, the North Burnett Regional Council is required to set out reasons for the decision to impose conditions. These reasons are set out in Attachment 2.

### Approved Plans and Specifications

<b>Document No./ Reference</b>	<b>Title (prepared by)</b>	<b>Date</b>
	Site plan (nts) by Dean Walters	20.03.2024
J3710-Driver-Elevation	Front and Back Elevations by R&F Steel Buildings	06.03.2024
J3710-Driver-Elevation	Left and Right Elevations by R&F Steel Buildings	06.03.2024
J3710-Driver-Floor Plan	Floor Plan by R&F Steel Buildings	06.03.2024

### Giving of the Notice

Under section 56(4) of the *Planning Act 2016*, this notice of referral agency response has been issued (where applicable) to the applicant and the assessment manager of the application.

Should you require any further assistance in process, please contact Council’s Development Services Department on 1300 696 272.

Yours faithfully,

Michael Lisle  
**Planning and Environment Manager**

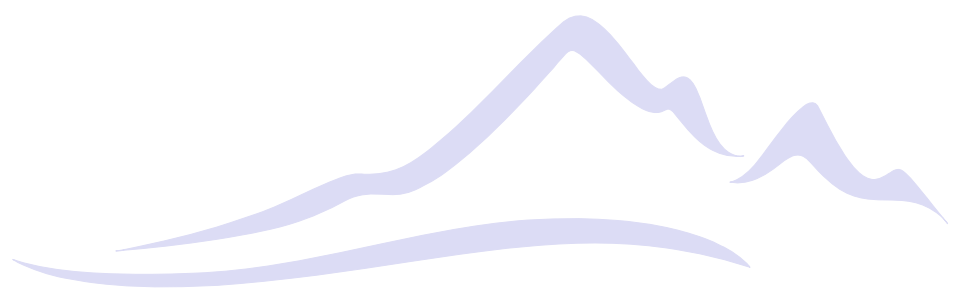
Enc: Attachment 1-conditions to be imposed  
Attachment 2-reasons for decision to impose conditions  
Attachment 3-appeal rights  
Attachment 4-plans

## Attachment 1 – Conditions to be imposed by Concurrence Agency

No.	Conditions
<b>General</b>	
1.	Unless otherwise stated in a particular condition, all conditions must be completed prior to the completion of building works, or issue of a final certificate, whichever is the sooner, unless otherwise agreed to in writing by the Concurrence Agency.
<b>Design and Siting</b>	
2.	The approved carport must be sited generally in accordance with the approved "Site Plan" by Dean Walters dated 20.03.2024.
3.	The floor area of the approved carport must not exceed 42m <sup>2</sup>
4.	The carport is maintained as an 'open' structure and is not to be infilled with walling or roller doors.
5.	The overall height of the approved carport must not exceed 4.5 metres measured from natural ground level.
6.	Utilise colours in the development that are sympathetic to the surrounding environment and avoid excessive brightness, contrast, colour intensity, and reflectivity. In this regard, materials/colours on the roof and wall of the structures must not reflect glare into the habitable rooms of any dwelling on surrounding allotments.
<b>Use</b>	
7.	The approved carport is to be used for private/domestic purposes only. The approved structure must not be used as a separate domicile/dwelling or used for any industrial/business use unless valid development approvals are granted for such uses. To this end, the use of any of the approved building/s associated with this approval must be ancillary and incidental to the predominant use of the site for a Dwelling Unit
8.	The approved carport must not be used for habitable purposes.

## Attachment 1B – Advice Notes

A.	This Concurrence Agency Response does not represent a development approval for Building Works under the <i>Building Act 1975</i> .
B.	All building works the subject of this notice can only proceed once a development permit for building works is issued by a Building Certifier.
C.	Please note this amenity and aesthetics assessment pertains to the approval of a class 10 building only (defined as Domestic Carport, Shed and Garage (10a)). It is recommended that clarification from a Building Certifier be sought to ensure that an appropriate building classification is applied to align with the building size, purpose, use and intent of operations within the building.

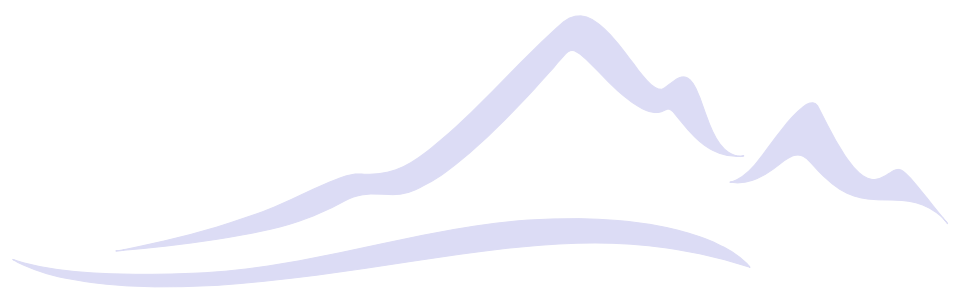


## **Attachment 2 – Reasons for decision to impose conditions**

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The reason for this decision are:

- To ensure the development is carried out generally in accordance with the plans of development submitted with the application.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the Queensland Development Code MP1.2.
- To ensure that the development is carried out in accordance with the performance criteria as stated in the North Burnett Regional Council Planning Scheme V1.4.

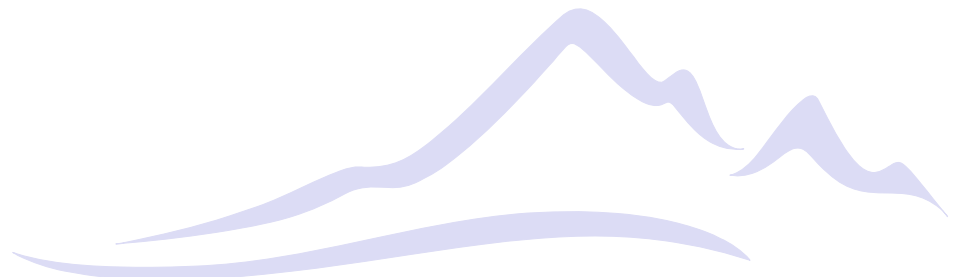


## **Attachment 3 – Approved Plans**

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**Please refer to the following pages for approved plans.**





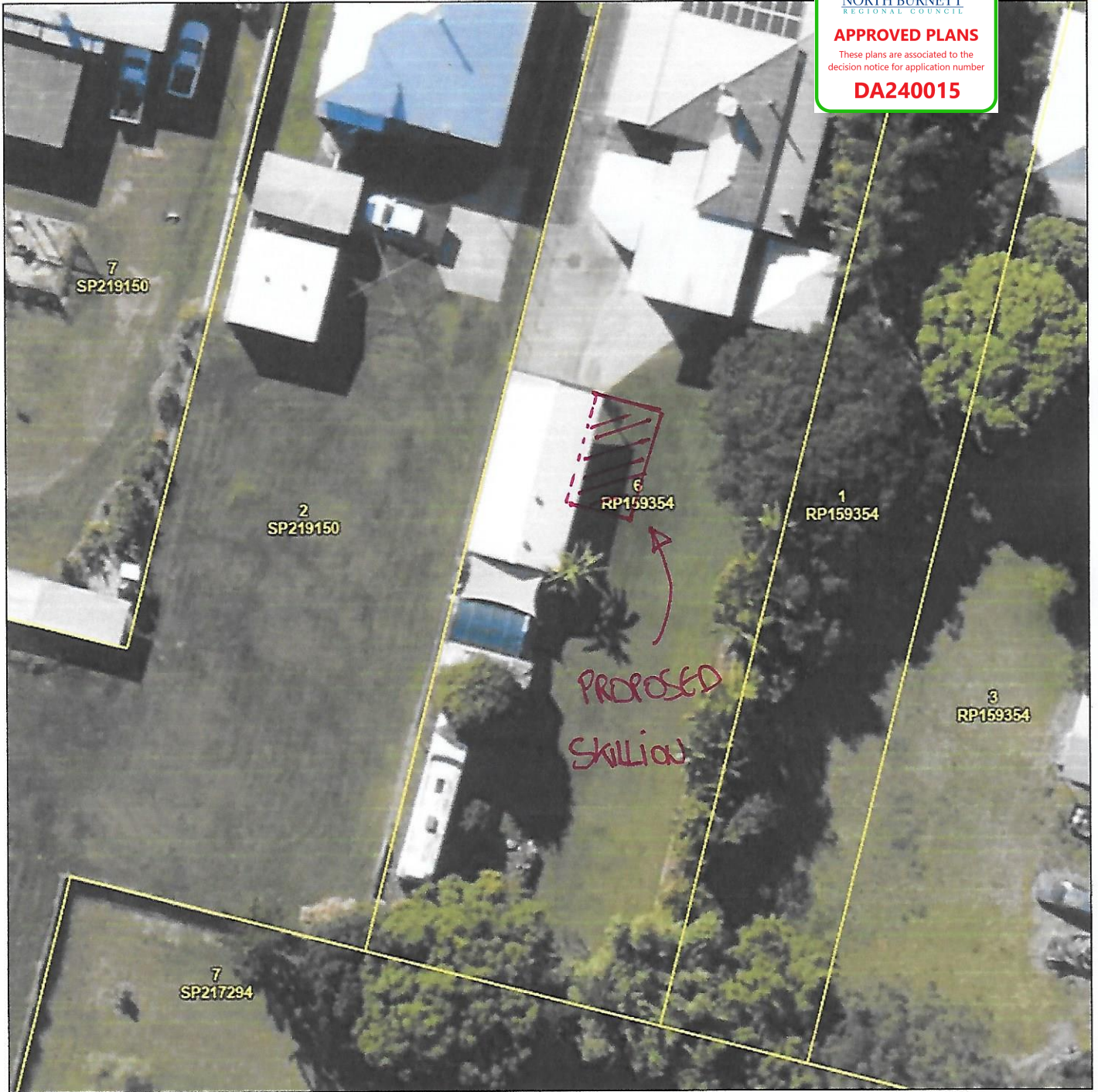
# SITE PLAN nts

25°37'24"S 151°36'11"E

24°S 151°36'13"E



**APPROVED PLANS**  
These plans are associated to the decision notice for application number  
**DA240015**

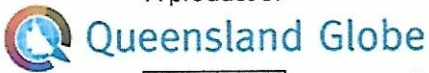


25°37'26"S 151°36'11"E

25°37'26"S 151°36'13"E

A product of

Legend located on next page



59 MESON STREET

GAYNDAH 20-3-24



Scale: 1:400

Printed at: A4

Print date: 5/3/2024

Not suitable for accurate measurement.  
Projection: Web Mercator EPSG 102100 (3857)

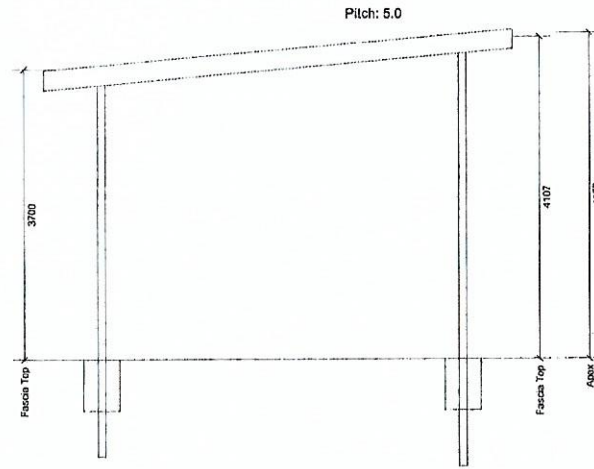
For more information, visit  
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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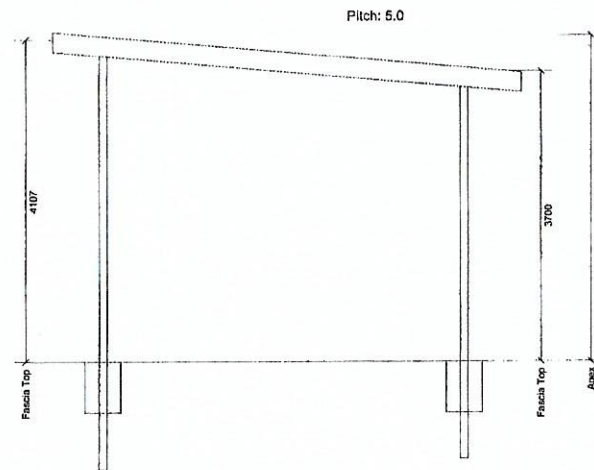
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**Queensland Government**  
Department of Resources




FRONT ELEVATION



BACK ELEVATION

George Zuev ~~20 MAR 2024~~  
RPEQ 7551



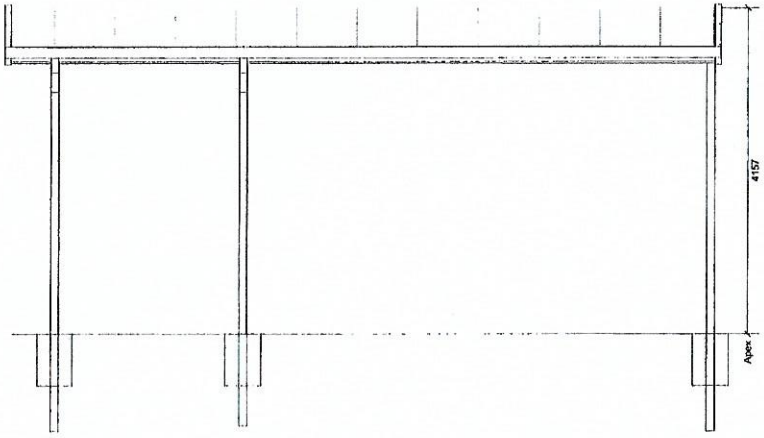
 R&F Steel Buildings Gayndah ABN: 27 495 986 095	R&F Steel Buildings Gayndah QBCC Lic. 1009385 100 Boyd Road, Gayndah QLD 4625	PROJECT NO: <b>P14699Q1</b>	CUSTOMER: <b>Doug Driver</b>	SITE: <b>59 Meson</b> <b>Gayndah, QLD 4625</b>	DATE: <b>06/03/2024</b>
	T 07 4161 1016 E gayndah@rfsteelbuildings.com.au	PROJECT NAME: <b>Doug Driver</b>		LOT: <b>6</b>	RP/SP: <b>RP 159354</b>
		JOB NAME: <b>Doug Driver</b>		DRAWING No: <b>J3710-Driver:Elevation</b>	

APPROVED PLANS  
 These plans are associated to the  
 decision notice for application number

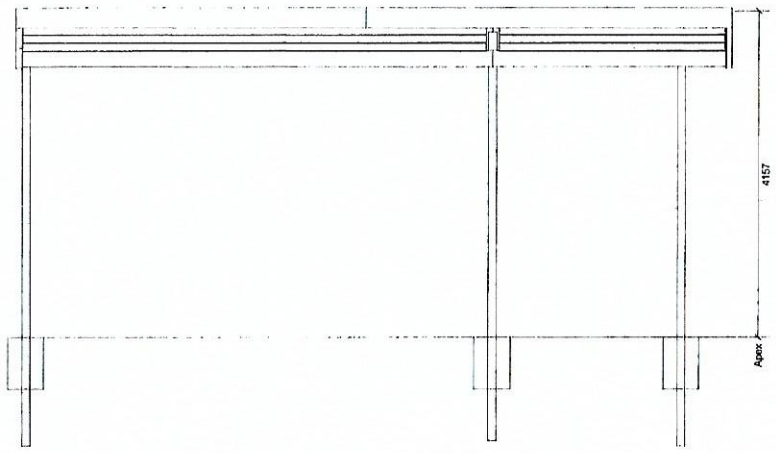
**DA240015**

ULT WIND SPEED: **47.11 m/s**  
 SERVICEABILITY: **32.23 m/s**






LEFT ELEVATION



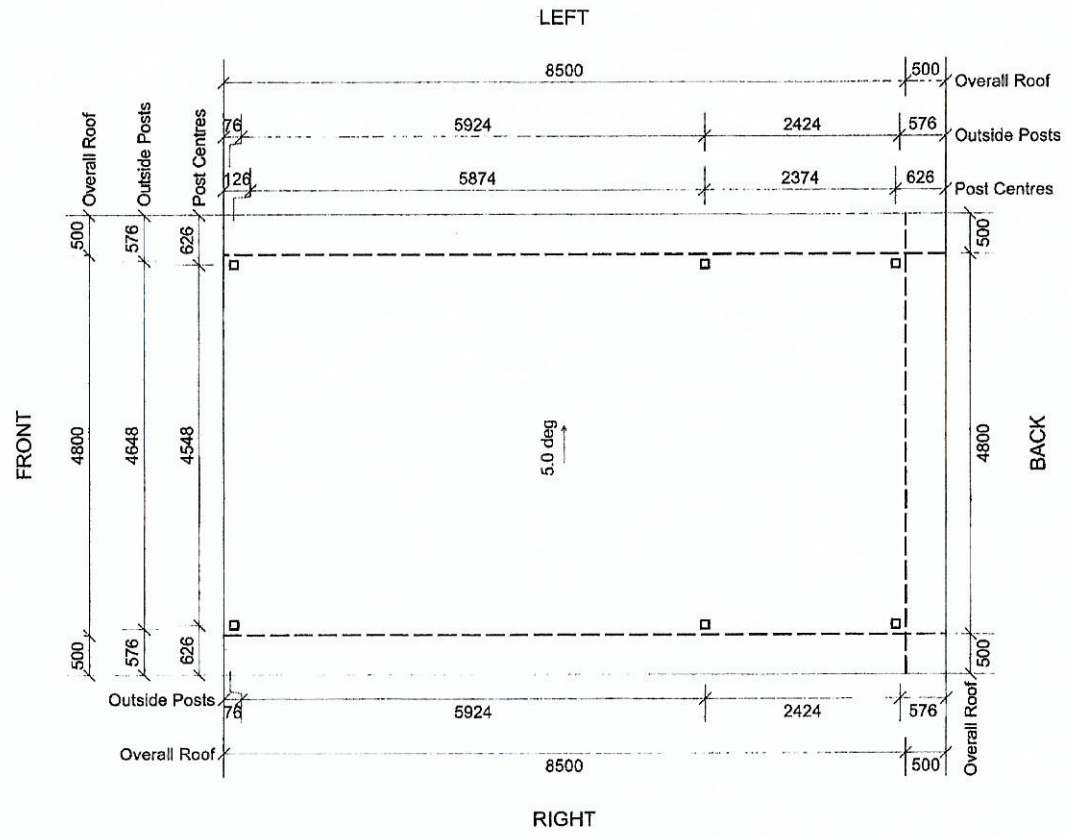
RIGHT ELEVATION

George Zuey 28 MAR 2024  
RPEQ 7551



 <b>R&amp;F STEEL BUILDINGS</b> R&F Steel Buildings Gayndah ABN: 27 495 986 098	R&F Steel Buildings Gayndah QBCC Lic. 1009385 100 Boyd Road, Gayndah QLD 4625	PROJECT NO: <b>P14699Q1</b> CUSTOMER: <b>Doug Driver</b>	SITE: <b>59 Meson</b> <b>Gayndah, QLD 4625</b>	DATE: <b>06/03/2024</b>
	T 07 4161 1016 E gayndah@rfsteelbuildings.com.au	PROJECT NAME: <b>Doug Driver</b>	LOT: <b>6</b> RP/SP: <b>RP 159354</b>	ULT WIND SPEED: <b>47.11 m/s</b> SERVICEABILITY: <b>32.23 m/s</b>
	JOB NAME: <b>Doug Driver</b>	DRAWING No: <b>J3710-Driver:Elevation</b>		





George Zuey 20 MAR 2024 RPEQ 7551



**Floor Plan**

<p>R&amp;F Steel Buildings Gayndah ABN: 27 495 986 096</p>	<p>R&amp;F Steel Buildings Gayndah QBCC Lic. 1009385 100 Boyd Road, Gayndah QLD 4625</p>	<p>PROJECT NO: <b>P14699Q1</b>    CUSTOMER: <b>Doug Driver</b></p>	<p>SITE: <b>59 Mason</b> <b>Gayndah, QLD 4625</b></p>	<p>DATE: <b>06/03/2024</b></p>
	<p>T 07 4161 1016 E gayndah@rfsteelbuildings.com.au</p>	<p>PROJECT NAME: <b>Doug Driver</b></p>	<p>LOT: <b>6</b>    RP/SP: <b>RP 159354</b></p>	<p>ULT WIND SPEED: <b>47.11 m/s</b> SERVICEABILITY: <b>32.23 m/s</b></p>
	<p>JOB NAME: <b>Doug Driver</b></p>	<p>DRAWING No: <b>J3710-Driver:Floor Plan</b></p>		

## **Attachment 4 – Planning Act 2016 Extract Appeal Rights**

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**Please refer to attached document or**

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#ch.6>

<https://www.legislation.qld.gov.au/view/html/inforce/current/act-2016-025#sch.1>

